

Gridley Planning Commission – Regular Meeting Agenda

Wednesday, February 19, 2020; 6:00 pm
Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

“Our purpose is to continuously enhance our community’s vitality and overall quality of life. We are committed to providing high quality, cost-effective municipal services and forming productive partnerships with our residents and regional organizations. We collectively develop, share, and are guided by a clear vision, values, and meaningful objectives.”

CALL TO ORDER – Planning Director

SWEARING IN AND SEATING OF COMMISSIONERS

- Maria Espino
- Rukhsana Khan
- Sumran Khan
- Kenneth Wolfe

1. Commission Vote for Chair and Vice Chair

COMMUNITY PARTICIPATION FORUM - *Members of the public may address the Planning Commission on matters not listed on the agenda. The Planning Commission may not discuss nor take action on any community participation item brought forward by a member of the community. Comments are requested to be limited to three (3) minutes.*

CONSENT AGENDA - *All items listed under the Consent Agenda are considered routine and acted upon by one motion. Any Planning Commissioner may request that an item be removed for separate consideration. The Planning Commission may only make minor comments; otherwise the item should be removed from the consent agenda and placed as the first item(s) under “Public Hearings”.*

PUBLIC HEARINGS

- 2. Conditional Use Permit 1-20** Application for a conditional use permit to allow a single-family residential use located at 505 Spruce Street on a 0.2-acre parcel. Zoning for the property is Restricted Commercial District (C-1) and Downtown Mixed-Use General Plan land use designation. (APN 010-133-002)
 - a. Receive staff report
 - b. Open Public Hearing/Receive Public Comment
 - c. Close Public Hearing
 - d. Commission Discussion

Staff recommendation:

- a. Find the project is categorically exempt from environmental review pursuant to the California Environmental Quality Act, Class 32, Infill Development Projects; and,
- b. Make the required conditional use findings as described within the staff report; and,
- c. Approve Conditional Use Permit 1-20 subject to the conditions attached to the staff report as Exhibit A.

CITY STAFF AND COMMISSION INFORMATIONAL UPDATES

ADJOURNMENT - to the regular meeting of the Planning Commission dated March 18, 2020.

This agenda was posted on the public bulletin board in the foyer of City Hall at or before 4:00 p.m. on February 14, 2020, in accordance with Government Code Section 54954.2. This agenda along with all attachments, if any, is available for public viewing online at www.gridley.ca.us and at the Administration counter in City Hall, 685 Kentucky Street, Gridley, CA. This is a public meeting and anyone may address the Planning Commission. Any documents that were provided to the Planning Commission after the Agenda packet was distributed are also available for public review during normal business hours.

Meeting facilities are accessible to persons with disabilities. By request, alternative agenda document formats are available to persons with disabilities. To arrange an alternative agenda document format or to arrange aid or services to modify or accommodate persons with a disability to participate in a public meeting, contact the City Clerk by calling 846-3631 (voice). This request should be received at least three working days prior to the meeting in order to accommodate your request.

CITY OF GRIDLEY

OATH OF OFFICE

State of California, County of Butte

I, Maria Espino, do solemnly swear that I will support and defend the Constitution of the United States and the Constitution of the State of California against all enemies, foreign and domestic, that I will bear true faith and allegiance to the Constitution of the United States and the Constitution of the State of California; that I take this obligation freely, without any mental reservation or purpose of evasion; and that I will well and faithfully discharge the duties upon which I am about to enter, so help me God.

Maria Espino, Planning Commissioner

Subscribed and sworn before me, this 19th day of February, 2020

Donna Decker, Planning Director

CITY OF GRIDLEY

OATH OF OFFICE

State of California, County of Butte

I, Rukhsana Khan, do solemnly swear that I will support and defend the Constitution of the United States and the Constitution of the State of California against all enemies, foreign and domestic, that I will bear true faith and allegiance to the Constitution of the United States and the Constitution of the State of California; that I take this obligation freely, without any mental reservation or purpose of evasion; and that I will well and faithfully discharge the duties upon which I am about to enter, so help me God.

Rukhsana Khan, Planning Commissioner

Subscribed and sworn before me, this 19th day of February, 2020

Donna Decker, Planning Director

CITY OF GRIDLEY

OATH OF OFFICE

State of California, County of Butte

I, Sumran Khan, do solemnly swear that I will support and defend the Constitution of the United States and the Constitution of the State of California against all enemies, foreign and domestic, that I will bear true faith and allegiance to the Constitution of the United States and the Constitution of the State of California; that I take this obligation freely, without any mental reservation or purpose of evasion; and that I will well and faithfully discharge the duties upon which I am about to enter, so help me God.

Sumran Khan, Planning Commissioner

Subscribed and sworn before me, this 19th day of February, 2020

Donna Decker, Planning Director

CITY OF GRIDLEY

OATH OF OFFICE

State of California, County of Butte

I, Kenneth Wolfe, do solemnly swear that I will support and defend the Constitution of the United States and the Constitution of the State of California against all enemies, foreign and domestic, that I will bear true faith and allegiance to the Constitution of the United States and the Constitution of the State of California; that I take this obligation freely, without any mental reservation or purpose of evasion; and that I will well and faithfully discharge the duties upon which I am about to enter, so help me God.

Kenneth Wolfe, Planning Commissioner

Subscribed and sworn before me, this 19th day of February, 2020

Donna Decker, Planning Director

Planning Commission Agenda Item #2
Staff Report

DATE: February 19, 2020

TO: Planning Commission

FROM: Donna Decker, Planning Department

SUBJECT: **Conditional Use Permit 1-20** Application for a conditional use permit to allow a single-family residential use located at 505 Spruce Street on a 0.2-acre parcel. Zoning for the property is Restricted Commercial District (C-1) and Downtown Mixed-Use General Plan land use designation. (APN 010-133-002)

RECOMMENDATION

City staff respectfully recommends the Planning Commission:

1. Find the project is categorically exempt from environmental review pursuant to the California Environmental Quality Act, Class 32, Infill Development Projects; and,
2. Make the required conditional use findings as described within the staff report; and,
3. Approve Conditional Use Permit 1-20 subject to the conditions attached to the staff report as Exhibit A.

SUMMARY

The applicant is requesting a conditional use permit in order to construct a new single-family residence in the Limited Commercial/Downtown Mixed-Use Combining Zone (C-1/DMU) zoning district. The site currently has a commercial structure, Edward Jones, on it. The applicants wish to fully develop the site. This project is considered an infill project.

SITE DESCRIPTION

The subject site is located on the south side of Spruce Street between Washington and Jackson Streets. The site is a 0.2-acre parcel, approximately 8,712 square feet. The existing structure is approximately 988 square feet and has been upgraded with landscaping.

DISCUSSION

Conditional use permits (CUP) are entitlements that once activated are tied to the property without expiring unless so conditioned. The Gridley Municipal Code allows residential use in the Limited Commercial (C-1) zoning district if a Conditional Use Permit is approved.



Figure 1: Location Map

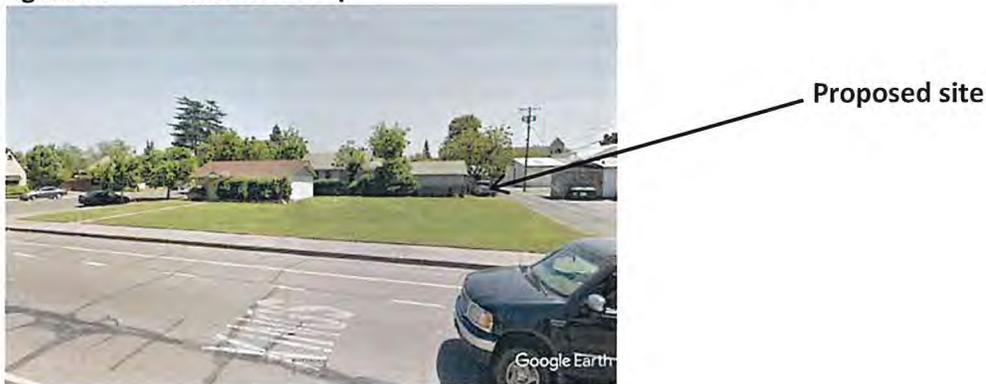


Figure 2: Front view from Spruce Street

In the Downtown Mixed-Use Combining Zone where residential uses are added to commercial uses on a site, there is a minimum density of 10 du/ac. The applicants are requesting a single unit for the site’s mixed use. The purpose of the Downtown Mixed-Use Combining zone is to encourage a mixture of uses both residential and commercial to support commercial uses with residents in the largely commercial district of the downtown area. Although this proposal does not meet the 10 du/ac, it is the addition of residential in the downtown and important to meet the policies and community goals.

Proposal

The applicant proposes to construct a 713 square foot, two-bedroom, one-bath cottage. The site plan depicts the cottage to be located towards the street. This will allow parking to be in the

back, accessed by the alleyway. The code allows one parking space for a cottage; the City will recommends providing two spaces for vehicles which would require a minimum 20 ft x 20 ft pad.

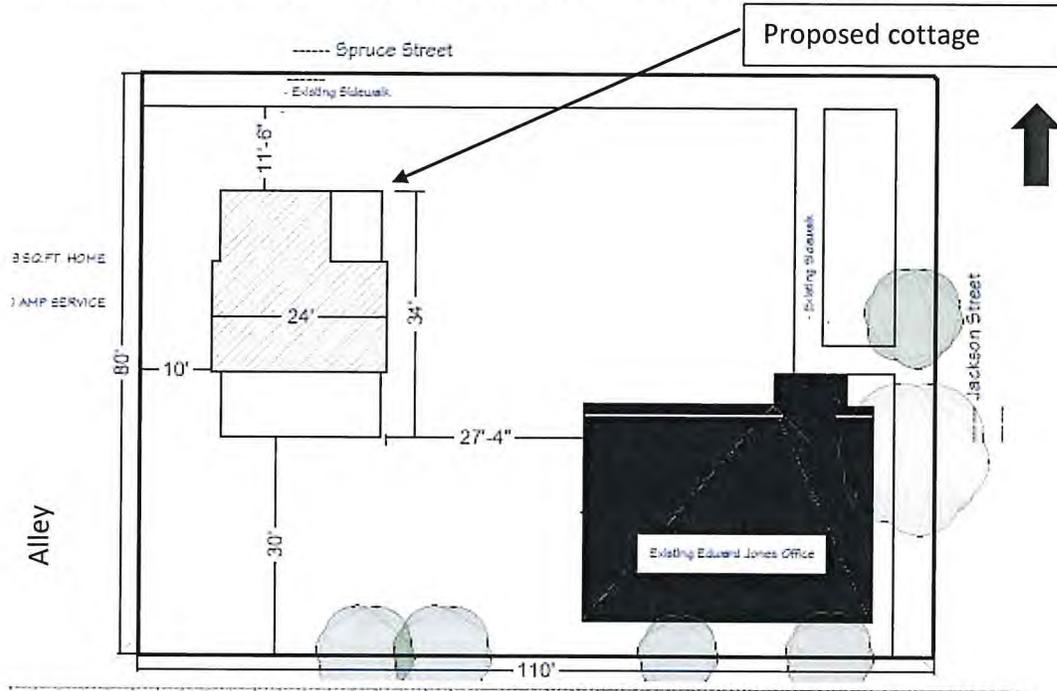


Figure 1: Site Plan



Perspective Overview
SCALE - NO SCALE

Figure 2: Perspective

Each parcel is provided with connection to city services. The development of the cottage will be required to have separate services from the commercial building at the east half of the site.

Should the Planning Commission vote favorably, this entitlement will allow the residential use along with commercial use allowed within the C-1 zone for this property.

PUBLIC NOTICE

A notice was published in the Gridley Herald, posted at City Hall, and on the city website. At the time this report was prepared, no written comments had been received.

FINDINGS

The Planning Commission is required to make the Findings of Fact for quasi-judicial actions of which this is.

Conditional Use Permit Findings:

- 1. The proposed use is in accordance with the objectives of the Downtown Mixed Use (DMU) General Plan land use designation and Limited Commercial/Downtown Mixed Use (C-1/DMU) zoning district.**

Approval of a conditional use permit will create an allowable use for this parcel in the land use district noted; therefore, this finding can be made.

- 2. That the establishment, maintenance, or operations of the use applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use.**

The residential use of the property will not be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of the proposed use; therefore, this finding can be made.

- 3. That the use will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city or substantially impede enactment of the comprehensive plan.**

The residential use of the property as a single-family use will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city or substantially impede enactment of the comprehensive plan; therefore, this finding can be made.

ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from environmental review pursuant to the California Environmental Quality Act, Section 15301, Existing Facilities, Class 1.

CONCLUSION

Approving a conditional use for residential use will support the intent of mixed uses in the C-1 Limited Commercial zoning district.

ATTACHMENTS:

1. Exhibit A, Draft Conditions of Approval
2. Exhibit B, Plans

EXHIBIT A

DRAFT CONDITIONS OF APPROVAL

Conditional Use Permit No. 1-20
505 Spruce Street
(APN 010-133-002)

Approved Use:

Conditional Use Permit to allow residential use located at 505 Spruce Street. Zoning for the property is Limited Commercial (C-1) and Downtown Mixed Use (DMU) General Plan land use designation.

Conditions of Approval:

1. The approved use for CUP 1-20 shall be substantially as described within this staff report, submitted site plans, narratives, and applications on file in City Hall except as modified by the following conditions. Minor changes to the use, areas, and etc. shall be subject to the review and approval by the Planning Department. Staff may recommend changes to be reviewed by the Planning Commission.
2. The applicant/property owner shall file a Declaration of Acceptance of the Final Conditions of Approval within 30 days of Planning Commission approval.
3. A building permit is required prior to any work being performed at the site. An application will be submitted to Butte County for the permit. All construction shall be in accordance with all of the City of Gridley and the County of Butte currently adopted Building Codes; including but not limited to the Plumbing Code, Mechanical Code, Electrical Code, Life Safety (Fire sprinklers), Solar, and the 2016 California Green Building Standards Code.
4. The applicant will need to pay development impact fees and school fees as required prior to issuance of the Certificate of Occupancy.
5. A revised site plan shall be submitted to the City for review determining the location of the parking area, landscaping, sidewalks, finish floor elevations relative to the back of curb, and utility connections.
6. A landscape and irrigation plan shall be submitted for review and approval. Prior to a Certificate of Occupancy, a water audit shall be performed and submitted to the City verifying the system meets the state standards.
7. The applicant will coordinate with the City of Gridley Utilities to determine the best and most feasible electrical connection for service; a new service drop from the service pole on the west side adjacent to the alley, or, from the existing electrical meter. A separate meter shall be provided for the residential unit.

8. The use shall require new water and sanitary sewer connections. Any removal of off-site improvements or street paving shall be the responsibility of the applicant and shall be repaired or replaced in kind and shall meet all current standards as required.
9. A new solar system is required to be designed for the unit and shall meet the requirements of the City of Gridley and Butte County to meet the currently adopted codes. Coordinate the size of the system with the Gridley Utility Department.
10. Prior to construction, the applicant shall obtain an encroachment permit or other instrument to work on City utilities within the right-of-way. All work on utilities shall be coordinated with the Gridley Municipal Utility Department.
11. An area shall be provided for outdoor refuse containers and shall have screening from view.
12. All proposed fencing shall be submitted and reviewed for approval to the Planning Department.

{End}

LEGAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECTURAL DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
2. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, IDENTIFY AND HOLD JEFF CUNHA HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF JEFF CUNHA.
3. THE CONTRACTOR AGREES THAT HE/SHE SHALL NOT DEVIATE FROM THESE DRAWINGS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE ENGINEER.
4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
5. IF CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED OUT IN THE NOTES OR SPECIFICATIONS, THEN THEIR CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR CALLED OUT ON THE DRAWINGS OR SPECIFICATIONS OR AS DIRECTED BY THE ENGINEER.
6. THE CONSTRUCTION, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE 2015 EDITION AS ADOPTED AND MODIFIED BY THE STATE OF CALIFORNIA IN REFERENCE TO THE 2016 CALIFORNIA BUILDING CODE (CBC).
7. IN AREAS OF EXCAVATION THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE STARTING EXCAVATION.
8. THE CONTRACTOR SHALL NOT SCALE THE WORKING DRAWINGS.

FOUNDATION

1. SOIL DESIGN INFORMATION:
SOIL DESIGN PRESSURE:
CONTINUOUS FOOTINGS 1500 PSF
PAD FOOTINGS 1500 PSF
BOTTOM OF THE FOOTINGS SHALL BE AT LEAST 12 INCHES BELOW LOWEST ADJACENT FINISH GRADE.
2. THE FINISH EXCAVATION FOR FOUNDATIONS SHALL BE NEAT & TRUE TO LINE WITH ALL LOOSE MATERIAL AND STANDING WATER REMOVED BEFORE CONCRETE IS PLACED.
3. THE TESTING LAB SHALL SUBMIT COMPACTION REPORTS FOR ALL FILL TO THE ENGINEER PRIOR TO REQUESTING FOUNDATION INSPECTION. ALL LOOSE SOIL AND FILL DIRT, INCLUDING BACKFILL BEHIND RETAINING WALLS, SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY.
4. BACKFILL FOR ALL RETAINING WALLS SHALL BE PERVIOUS MATERIAL AND SHALL NOT BE PLACED UNTIL MASONRY OR CONCRETE RETAINING MEMBERS HAVE BEEN IN PLACE A MINIMUM OF 14 DAYS OR HAVE OBTAINED 75% OF THE DESIGN STRENGTH.
5. PRIOR TO BACKFILLING, PROVIDE TEMPORARY SHORING FOR ALL WALLS RETAINING EARTH, UNLESS OTHERWISE NOTED.
6. TEMPORARY SHORING FOR ALL RETAINING WALLS REQUIRING PERMANENT STRUCTURAL SUPPORT AT THE TOP OF THE WALL SHALL REMAIN IN PLACE UNTIL SUCH SUPPORTS ARE INSTALLED. IN THE CASE OF CONCRETE SUPPORTS, THE SHORING SHALL REMAIN IN PLACE MINIMUM OF 7 DAYS AFTER CONCRETE PLACEMENT.

REINFORCING STEEL

1. BAR REINFORCING SHALL CONFORM TO ASTM A615, INCLUDING SUPPLEMENT S1 ALL REINFORCING STEEL SHALL BE GRADE 60 (80 KSI)
2. DETAILS FOR REINFORCING SHALL CONFORM TO CHAPTER 7 OF THE AMERICAN CONCRETE INSTITUTE PUBLICATION 318-09, UNLESS OTHERWISE NOTED.
3. LAPS AT BAR SPLICES IN CONCRETE CONSTRUCTION SHALL CONFORM TO CHAPTER 12 OF THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE 318.
4. VERTICAL BARS IN CONCRETE CONSTRUCTION SHALL BE ACCURATELY POSITIONED AT THE CENTER OF THE WALL, UNLESS OTHERWISE NOTED.
5. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
6. LAPS IN WELDED WIRE FABRIC AT SPLICES SHALL NOT BE LESS THAN 8 INCHES.
7. WALLS, PILASTER, AND COLUMNS SHALL BE DOWELED TO THE SUPPORTING FOOTINGS WITH REINFORCING OF THE SAME SIZE AND SPACING AS THE VERTICAL REINFORCING.
8. BAR SUPPORTS SHALL BE PROVIDED AS SPECIFIED IN THE "MANUAL OF STANDARD PRACTICE" ISSUED BY THE CONCRETE REINFORCING STEEL INSTITUTE.
9. ALL REINFORCING SHALL SECURELY TIED IN PLACE PRIOR TO PLACING CONCRETE OR GROUT.
10. WELDING OF CROSSING BARS AND TACK WELDING OF REINFORCING SHALL NOT BE PERMITTED.

REINFORCED CONCRETE

1. NOTES ON CONCRETE:
 - A. THE MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE:
 - o FOUNDATIONS/PAD FOOTINGS 3000 PSI
 - o SLABS ON GRADE 3000 PSI
 - B. THE MAXIMUM SLUMP SHALL BE 4 INCHES.
 - C. MIX DESIGNS SHALL BE SUBMITTED FOR ALL CONCRETE WITH REQUIRED STRENGTHS GREATER THAN 2500 PSI. MIX DESIGNS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND SUBMITTED TO THE PROJECT DESIGN PROFESSIONAL FOR REVIEW.
2. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I OR II.
3. AGGREGATES FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33.
4. ADMIXTURES USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT.
5. READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C94.
6. MINIMUM CONCRETE COVER (IN INCHES) FOR REINFORCING STEEL FOR NON-PRESTRESSED CONCRETE:
 - A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER

#6 AND LARGER	2"
#5 AND SMALLER	1 1/2"
7. SLEEVES, PIPES, AND CONDUITS SHALL NOT BE PLACED THROUGH CONTINUOUS OR SPREAD FOOTINGS, GRADE BEAMS, OR TIE BEAMS.
8. ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4 INCH UNLESS NOTED.
9. CONSTRUCTION JOINTS SHALL BE ADEQUATELY KEYPED. THEIR LOCATIONS AND DETAILS, WHEN NOT SHOWN ON THE DRAWINGS, SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
10. CONCRETE PLACEMENTS SHALL BE CONTINUOUS BETWEEN CONSTRUCTION JOINTS.
11. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, SLABS ON GRADE SHALL BE CAST IN SQUARE OR RECTANGLE PATTERNS NOT EXCEEDING 400 SQUARE FEET, WITH A MAXIMUM DIMENSION OF 20 FEET BETWEEN CONSTRUCTION, WEAKENED PLANE, OR CONSTRUCTION JOINTS.

WOOD NOTES

1. SAWN WOOD MEMBERS SHALL BE DOUGLAS FIR OR LARCH, S4S, AND SHALL BE GRADE MARKED BY A GRADING AGENCY RECOGNIZED BY THE INTERNATIONAL CODE COUNCIL (ICC).
2. WOOD GRADES, UNLESS NOTED, SHALL BE AS FOLLOWS:
LIGHT FRAMING (2" TO 4" THICK & 2" TO 4" WIDE) NO 2
JOISTS & HEADERS (2" TO 4" THICK, 6" & WIDER) NO 2
BEAMS & STRINGERS (6X & LARGER) NO. 1
POST & TIMBERS (6X & LARGER) NO. 1
3. BOLTS SHALL CONFORM TO ASTM A307. NUTS SHALL CONFORM TO ASTM A563, HEX GRADE A.
4. ALL BOLT HEADS, NUTS, AND LAG SCREWS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS UNLESS NOTED.
5. BOLT HOLES DRILLED IN WOOD SHALL BE DRILLED 1/32" LARGER THAN THE NOMINAL BOLT DIAMETER EXCEPT FOR PILOT HOLES TO RECEIVE LAG BOLT THREADS.
6. NAILING OF SAWN WOOD MEMBERS, UNLESS OTHERWISE NOTED, SHALL BE DONE WITH COMMON WIRE NAILS AND CONFORM TO TABLE 2304.10.1 OF THE CBC.
7. CUTTING, DRILLING, OR NOTCHING OF BEAMS/JOISTS/POSTS SHALL BE PERMITTED ONLY AS SHOWN ON THE DRAWINGS OR AS INDICATED IN WRITING BY THE ENGINEER.
8. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY, WHICH IS IN CONTACT WITH THE EARTH, SHALL BE PRESSURE TREATED DOUGLAS FIR.
 1. PROVIDE BLOCKING OR BRIDGING PER CHAPTER 23 OF THE CBC AND SEC 4.4.1.2 OF THE NATIONAL DESIGN SPECIFICATION.
 2. MOISTURE CONTENT OF WOOD AT THE TIME OF PLACING SHALL NOT EXCEED 19 PERCENT.

SECTION 1603 CONSTRUCTION DOCUMENTS

ROOF DEAD LOAD	12 PSF
ROOF LIVE LOAD	20 PSF
WIND DESIGN DATA	
BASIC WIND SPEED	110 MPH
WIND IMPORTANCE FACTOR (I)	1.0
WIND EXPOSURE	B
EARTHQUAKE DESIGN DATA	
SEISMIC IMPORTANCE FACTOR (I)	1.0
MAPPED SPECTRAL RESPONSE ACCELERATION (S _a)	0.613
MAPPED SPECTRAL RESPONSE ACCELERATION (S ₁)	0.219
SITE CLASS	D
SPECTRAL RESPONSE COEFFICIENT (S _{ds})	0.535
SPECTRAL RESPONSE COEFFICIENT (S _{d1})	0.331
SEISMIC DESIGN CATEGORY	D
SEISMIC DESIGN RESISTING SYSTEM	STRUCTURAL WOOD PANEL SHEAR WALLS
DESIGN BASE SHEAR (V _E)	232 KIPS
SEISMIC RESPONSE COEFFICIENT (C _s)	0.101
RESPONSE MODIFICATION FACTOR (R)	6.5
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE

Structural Notes
CUNHA COTTAGE - NEW CONSTRUCTION



DATE: _____

SCALE: _____

SHEET: _____

Structural Notes

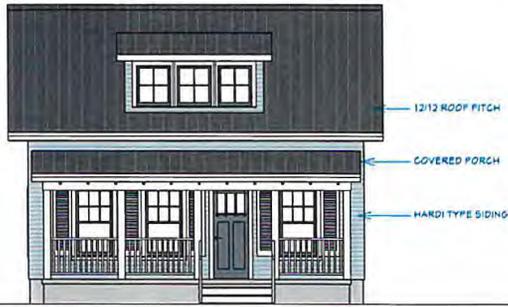
STEVE AND JOE CUNHA
NEW HOME CONSTRUCTION
3855 Stearns Street
Orange, CA 92668



DATE: 12/4/2019

SCALE: _____

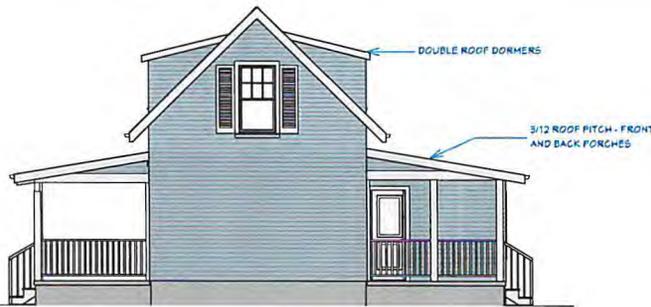
SHEET: N-1



North Elevation



South Elevation



West Elevation



East Elevation

MINIMUM NAILING

SCHEDULE: CBC TABLE 2304.10.1

- 1 JOIST OR RAFTERS TO SIDES OF STUDS 3-164
8 INCH JOIST OR LESS 1-164
FOR EACH ADDITIONAL 4 INCHES IN DEPTH OF JOIST 2-64
- 2 BRIDGING TO JOIST TOP NAIL EACH END
8 BLOCKING BETWEEN JOISTS OR RAFTERS
TO JOIST OR RAFTERS TOP NAILS EACH SIDE EACH END 2-162
- 3 BLOCKING BETWEEN STUDS EACH END 2-162
- 3 ROLE PLATE TO JOIST OR BLOCKING FACE NAIL 164 IN 164
- 4 TOP PLATE TO STUD END NAIL 3-164
- 5 STUD TO SOLE PLATE 8 IN NUMBER 164 AND 164
- 6 DOUBLE STUDS FACE NAIL 164 IN 241 2-164
- 7 DOUBLED TOP PLATES FACE NAIL 164 IN 164
- 8 TOP PLATES LAP AND INTERSECTIONS FACE NAIL 3-164
- 9 CEILING JOISTS TO PLATE TOP NAIL 3-164
- 10 CONTINUOUS HEADER TO STUD TOP NAIL 4-164
- 11 CEILING JOISTS LAPS OVER PARTITIONS FACE NAIL 3-164
- 12 CEILING JOISTS TO PARALLEL RAFTERS FACE NAIL 3-164
- 13 JOIST OR RAFTERS AT ALL BEARINGS TOP NAILS EACH SIDE 2-164
- 14 1" BRACE TO EACH STUD AND PLATE FACE NAIL 2-164
- 15 BUILT-UP CORNER STUDS 164 IN 241 2-164
- 16 EXTERIOR SHEAR WALL 80 IN 81 2-164 EDGE AND 12" 2-164 FIELD
- 17 ROOF SHEETING PANELING 24 IN 2-164 EDGE AND 12" 2-164 FIELD

NOTES FOR WINDOWS

- * ALL VENTILATIONS SHALL HAVE A MAXIMUM ALL VENTILATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS: WINDOW 5 DOORS 0.30 SKYLIGHTS 0.55
- * EGRESS WINDOWS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A FULL HEIGHT OF NOT MORE THAN 48 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5' 5 1/2 FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. EXCEPTION: GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF FIVE (5) SQUARE FEET. FIELD VERIFY A WINDOW IN EACH BEDROOM SHALL MEET EMERGENCY ESCAPE REQUIREMENTS.

MINIMUM EROSION AND SEDIMENT CONTROLS FOR PROJECTS DISTURBING LESS THAN ONE ACRE

6-10 THE BMP'S (BEST MANAGEMENT PRACTICES) LISTED BELOW MUST BE IN PLACE AT ALL TIMES THROUGHOUT THE YEAR. THE BMP'S LISTED ARE MINIMUM REQUIREMENTS AND ADDITIONAL BMP'S COULD BE REQUIRED BASED ON SITE CONDITIONS.

1. STABILIZED ENTRY: PROVIDE MINIMUM 3' TO 6' FRACTURED ROCK 50" LONG x 15" WIDE BY 6" DEEP OVER CONSTRUCTION GRADE FABRIC.
2. ALL SOILS TRACKED ONTO PAVED ROADWAYS MUST BE CLEANED ON A DAILY BASIS. WHEN STREETS ARE WET OR DURING A RAIN EVENT THERE SHALL BE NO TRACKING OF SOILS ONTO THE STREET.
3. WHITTLES SHALL BE INSTALLED PROPERLY, BEHIND CURB OR SIDEWALKS.
4. ROCK BAGS (MINIMUM 3 PER SIDE) AT ALL DRAIN INLET LOCATIONS WITHIN 150' OF THE PROJECT SITE.
5. INTERNAL FILTERS SHALL BE PLACED INSIDE EACH DRAIN INLET.
6. TRASH BARS SHALL BE PLACED ACROSS THE BACK OF ALL DRAIN INLETS.
7. STABILIZE ALL DISTURBED SOILS IN THE FRONT YARD AREAS WITHIN 15' OF THE BACK CURB OR SIDEWALK. (STRAIN OR EROSION BLANKETS MAY BE USED FOR THIS APPLICATION)
8. STABILIZE ALL SLOPES WHERE EROSION COULD OCCUR AND CAUSE SILT RUN OFF. (STRAIN, VISQUEEN OR EROSION BLANKETS MAY BE USED FOR THIS APPLICATION)
9. ALL PAINT, FUEL, CONSTRUCTION PRODUCTS ETC. SHALL BE STORED IN A COVERED LOCATION AWAY FROM SIDEWALKS AND STORM DRAIN INLETS.
10. PORTABLE CHEMICAL TOILETS IF PROVIDED ON THE SITE MUST BE KEPT OFF OF STREETS AND SIDEWALKS AND A LEAST 50' FROM THE NEAREST STORM DRAIN.
11. ALL TRASH MUST BE COLLECTED AND STORED PROPERLY. DO NOT LET ITEMS SUCH AS DRY-PALL MUD BOXES, PAINT BUCKETS, CLEANING MATERIAL CONTAINERS, ETC. COME IN CONTACT WITH ANY RAINFALL OR STORM WATER RUNOFF.
12. PROVIDE A DESIGNATED AREA FOR CONCRETE WASHOUT. HAY BAILS LINED WITH VISQUEEN MAY BE USED FOR THIS APPLICATION. ROLL-AWAY BINS MAY ALSO BE USED. ALL CONCRETE WASHOUT SYSTEMS SHALL BE PLACED OFF OF THE PAVED STREETS.
13. AFTER INSTALLATION OF THE ABOVE ITEMS ARE COMPLETE, A MAINTENANCE PROGRAM NEEDS TO BE DEVELOPED TO INSURE THE CONTINUED EFFECTIVENESS OF YOUR BMP'S.

Elevation Drawings

Scale 1/4" = 1'



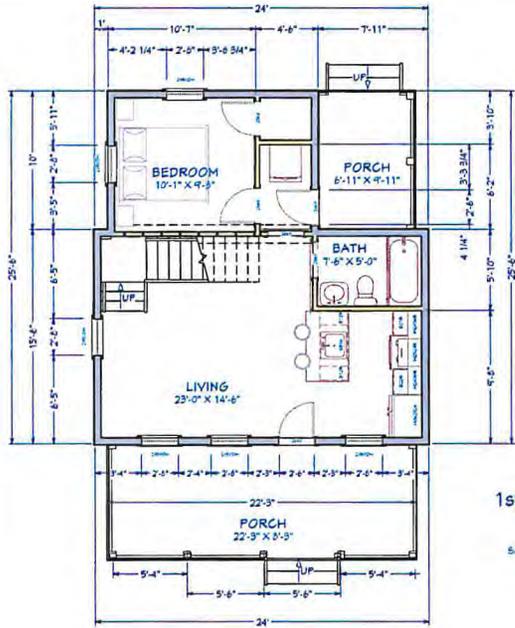
Elevation Drawings

STEPHEN AND JOE CUNHA
NEW HOME CONSTRUCTION
500 Stuart Street
Granite Bay, CA 95946

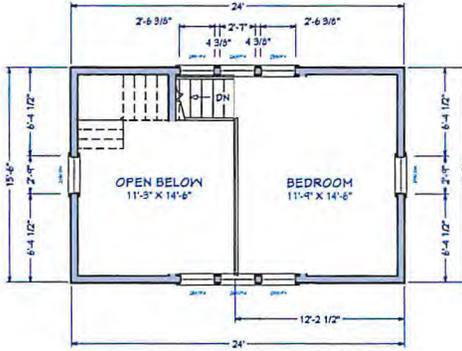
DATE: 12/4/2019

SCALE: 1/4" = 1'

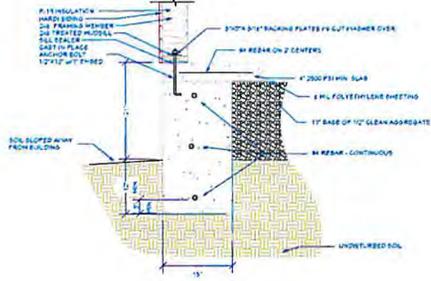
SHEET: A-2



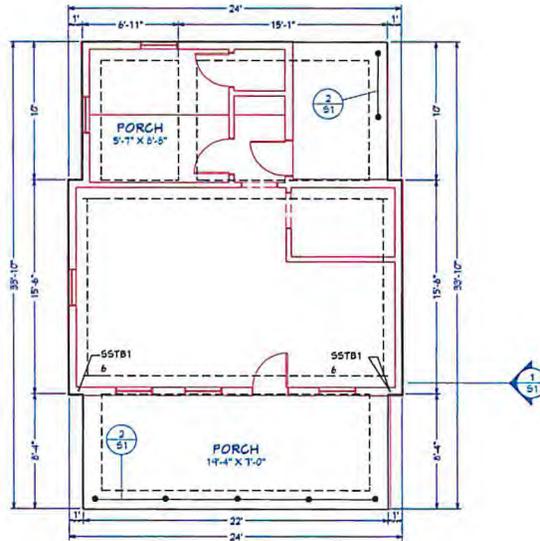
1st Floor Plan
Scale 1/4" = 1'



2nd Floor Plan
Scale 1/4" = 1'



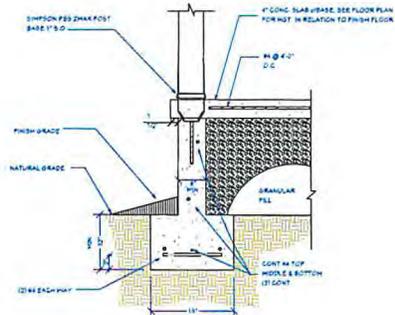
Raised Slab Detail
Scale 1" = 1'



Foundation Plan
Scale 1/4" = 1'

Floor Plan Notes

- SCALE 1/4" = 1'
- PROJECT IS DESIGNED TO COMPLY WITH ALL 2016 CALIFORNIA BUILDING CODES
 - SDC - D
 - SNOW - NONE
 - WIND SPEED - 110 MPH
 - EXPOSURE - C
 - 6413 SQUARE FEET
- NEW CONSTRUCTION
- DIMENSIONS FOR ROOMS AS SHOWN - WORKING DIMENSIONS SHOWN
- DIMENSIONS FOR DOORS, WINDOWS AND TYPE SHOWN
- SPLIT SYSTEM FOR HEATING AND COOLING (SEE PAGE P.5 FOR DETAILS)
- EGRESS WINDOWS PROVIDED IN SLEEPING ROOMS WITH OPENINGS AT 32" ABOVE THE FLOOR, A MINIMUM OPENING WIDTH OF 24", MINIMUM OPEN HEIGHT OF 48", AND MINIMUM OPEN AREA OF 5.7 MINIMUM WINDOWS WITH 5% OF ROOM AREA FOR LIGHT AND 4% FOR VENTILATION IN ALL HABITABLE ROOMS HAVE BEEN PROVIDED
- SAFETY GLAZING IN DOORS, SHOWERS, AND TUBS AND IN WINDOWS WITHIN A 24" ARC OF A DOORJAMB, LARGE WINDOWS WITH SILLS CLOSER THAN 10" TO THE FLOOR, OR ELSEWHERE IN A HAZARDOUS AREA ARE PROVIDED
- ATTIC ACCESS IS SHOWN IN HALLWAY AND IS READILY ACCESSIBLE. ATTIC NOT USED FOR STORAGE OR SERVISING EQUIPMENT
- EXTERIOR WALLS TO HAVE R-14 INSULATION BETWEEN THE 2X6 STUDS
- R-49 INSULATION IN THE ATTICS



Porch at Post Base
Scale 1" = 1'

Foundation Notes:

- GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 6" WITHIN THE FIRST 10 FT. (5% SLOPE) PER 2016 CBC SECTION R401.3
- ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATIVE SOIL.



DATE:
SCALE:
SHEET:

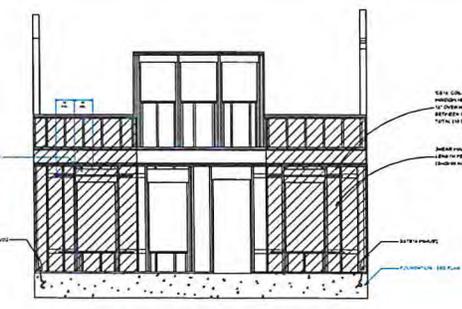
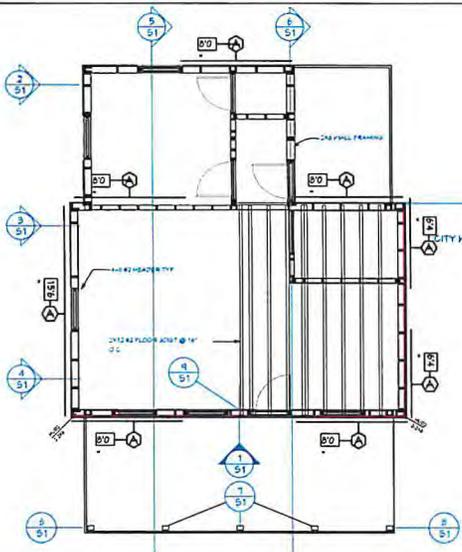
Floor Plan

STEPH AND JOE CUNHA
NEW HOME CONSTRUCTION
5955 Serrano Street
Encinitas, CA 92036



DATE:
12/4/2019
SCALE:
1/4" = 1'
SHEET:
A-3

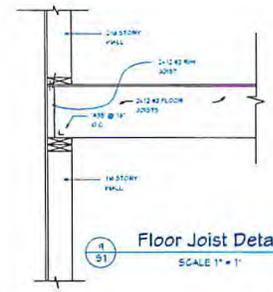
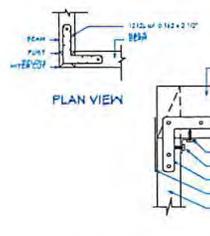
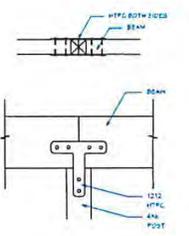
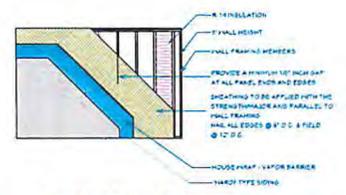
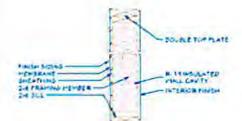




Shear Wall Schedule

WALL	SHEATHING	EDGE WALLING	HORIZONTAL PLATE ANCHORAGE	VERTICAL PLATE ANCHORAGE	ELLIPS AT RM JOIST TO PLM JOIST	SPECIAL CONSTRUCTION
(A)	5/8" APA RATED SHEATHING	88 COMMON @ 2" x 4"	5/8" x 12" AB @ 24" x 4"	1/2" x 8" W/EE @ 4" O.C.	1/4" x 1/2" O.C.	NONE
(B)	5/8" APA RATED SHEATHING	88 COMMON @ 2" x 4"	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE	7/8" STUDS @ 16" O.C. AT ADJOINING PANEL EDGES
(C)	5/8" APA RATED SHEATHING	88 COMMON @ 2" x 4"	5/8" x 12" AB @ 24" x 4"	NOT APPLICABLE	NOT APPLICABLE	ALL STUDS @ 16" O.C. AT ADJOINING PANEL EDGES
(D)	5/8" APA RATED SHEATHING	88 COMMON @ 2" x 4"	5/8" x 12" AB @ 24" x 4"	NOT APPLICABLE	NOT APPLICABLE	7/8" STUDS @ 16" O.C. AT ADJOINING PANEL EDGES

- 1. ALL UNSUPPORTED PANEL EDGES SHALL BE BOLDED IN MIN 2x4 PLAT
- 2. ALL SHEATHING BANDING SHALL BE EDGE WITH COMMON HALL OR A SIMILAR EQUIVALENT
- 3. ALL REINFORCING SHALL BE WITH SAME HALL SIZE WITH 12" O.C. SPACING
- 4. FOR DEPENDS IN TYPICAL SHEAR WALL SEE ELEVATION SHEET
- 5. HALLINGS SHALL BE STAGGERED AT ADJOINING PANEL EDGES WHERE 4x STUDS OR BLOCKING IS REQUIRED



Framing Plan
Scale as Shown



Floor & Foundation Plans

STEPH AND JOE CUNHA
NEW HOME CONSTRUCTION
500 S. Grand Street
Covina, CA 91724



DATE: 12/4/2019
SCALE:
SHEET: S-1





HYDRAULIC CALCULATIONS AND HYDRALICS

Diamond M Fire Protection
2401 Castle Drive Road
Corning, CA 96021
C-75 Lic. # 403194
509-824-1450

Job Name: Voyer Residence
Drawing: FFD
Location: 1545 Sycuan Way
Remote Area:
Circuit: 1533
Data File: 1533 WAF

Computer Programs by Hydraulic Inc. Revision: 50.53.5

Diamond M Fire Protection
Voyer Residence
Page 1
Date

HYDRAULIC CALCULATIONS
for

Project name: Voyer Residence
Location: 1545 Sycuan Way
Drawing no.: FFD
Date: 12-2-19

Design
Remote area number: 1
Remote area location: Master Bath
Occupancy classification: Residential
Density: 051 - Gem/Std
Area of application: 2 Heads - 5gfl
Coverage per sprinkler: 250-545
Type of sprinklers calculated: Type LF-16 Conventional, K=1.50
No. of sprinklers calculated: 2
In-rack demand: N/A - GPU
Hose streams: 5 - GPM
Total water required (including hose streams): 31.309 - GPM (E 76.172 - Psi)
Type of system: Wet
Volume of dry air preaction system: N/A - Gal

Water supply information
Date: 11-16-19
Location: 1545 Sycuan Way
Source: Paradise Irrigation District

Name of contractor: Diamond M Fire Protection
Address: 2401 Castle Drive Road Corning, CA
Phone number: 509-824-1450
Name of designer: LDC
Authority having jurisdiction: City of Paradise Fire Dept.
Notes: (Include peaking information or giddled systems here)

Computer Programs by Hydraulic Inc. Revision: 50.53.5

Flow Summary - NFPA
Diamond M Fire Protection
Voyer Residence
Page 4
Date

SUPPLY ANALYSIS

Node at Source	Static Pressure	Residual Pressure	Flow	Available Pressure	Total Demand	Required Pressure
12	15.0	5.4	04.0	54.855	31.4	76.172

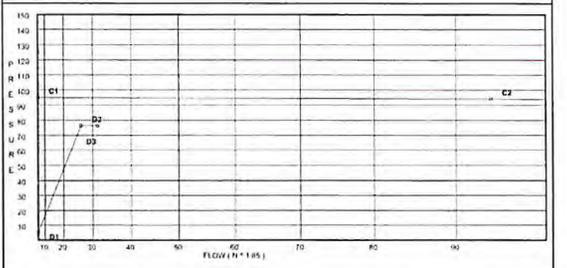
NODE ANALYSIS

Node Tag	Elevation	Node Type	Pressure at Node	Discharge at Node	Notes
1	9.0	4.0	7.1	13.06	
2	9.0	4.0	7.42	13.34	
3	9.0		7.38		
4	9.5		8.07		
5	9.5		11.44		
6	9.5		12.24		
7	9.5		14.84	5.0	
8	0.0		24.8		
9	0.0		27.03		
10	-1.0		33.82		
11	-1.0		55.03		
12	-3.0		75.17		

Computer Programs by Hydraulic Inc. Revision: 50.53.5

Water Supply Curve C
Diamond M Fire Protection
Voyer Residence
Page 2
Date

City Water Supply	Demand
C1 - Static Pressure	95
C2 - Residual Pressure	94
C3 - Residual Flow	41
D1 - Elevation	5.197
D2 - System Flow	29.305
D3 - System Pressure	76.172
Flow [Demand]	5
D4 - System Demand	31.309
Safety Margin	18.695



Computer Programs by Hydraulic Inc. Revision: 50.53.5

Fittings Used Summary
Diamond M Fire Protection
Voyer Residence
Page 3
Date

Fitting Used	Qty	1/2"	3/4"	1"	1 1/2"	2"	2 1/2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"
C - NFPA 13.81 Standard Ends	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
F - Fitting	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
G - GPC W/Flare Spere	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
H - GPC Tee	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
I - GPC Elbow Tee	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
J - NFPA 13.81 Flare Coupl	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
T - NFPA 13.81 Tee	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Units Summary
Diameter Units: Inches
Length Units: Feet
Flow Units: US Gallons per Minute
Pressure Units: Pounds per Square Inch

Note: Fitting Legend provides equivalent pipe lengths for fittings of various diameters. Equivalent lengths are provided for actual diameters of Schedule 40 pipe and CF factor of 100 except as noted with *. The fittings marked with * show equivalent lengths values supplied by manufacturers based on specific pipe diameters and CF factors and they require no adjustment. As values for fittings not marked with * will be adjusted in the calculation for CF factors of other than 100 and diameters other than Schedule 40 per NFPA.

Computer Programs by Hydraulic Inc. Revision: 50.53.5

Final Calculations - Hazen-Williams
Diamond M Fire Protection
Voyer Residence
Page 5
Date

Node1	Elev1	K	Qs	Item	Fitting	Pipe	CFact	PS	Notes
Node2	Elev2	Fact	Dr	Act	Eqv	Len	FEFT	Pw	
1	9	4.90	13.06	1	N	7.0	7.650	150	7.100
2	9	4.90	13.06	1	N	1.0	8.000	150	0.217
3	9.500	13.06	1.161	0.0		15.500	0.0329	8.493	Vel = 4.43
4	9.500	13.06	1.0	0.0		5.000	0.0329	7.976	K Factor = 4.81
5	9.500	13.06	1.01	0.0		5.500	0.0322	8.177	Vel = 4.51
6	9.500	13.06	1.0	0.0		10.000	0.0322	7.374	
7	9.500	26.4	1.701	0.0		5.000	0.0	0.0	Vel = 8.50
8	9.500	-14.10	1	DE	42	68.830	0.1137	0.001	
9	9.500	12.3	1.101	0.0		55.000	0.0	0.0	Vel = 4.14
10	9.500	0.0	1	3R	30	36.000	0.0277	3.372	Vel = 4.14
11	9.500	12.3	1.101	0.0		29.000	0.0277	0.803	Vel = 4.14
12	9.500	14.10	1	3R	5.0	72.125	0.0356	4.175	Vel = 4.75
13	9.500	12.30	1	2R	14.0	8.830	0.0356	12.242	
14	9.500	26.4	3.161	0.0		22.830	0.1137	2.506	Vel = 8.50
15	9.500	5.0	1	S	9.063	4.000	0.1567	3.006	Vel = 10.88
16	9.500	0.0	1	R	1.0	10.562	0.000	8.608	** Flare Loss = 3
17	9.500	31.4	1.161	0.0		19.562	0.000	1.516	
18	9.500	0.0	1	S	3.500	150	0.000	24.802	
19	9.500	0.0	1	S	0.0	0.0	0.000	1.516	
20	9.500	0.0	1	S	0.0	0.0	0.000	1.516	Vel = 12.21
21	9.500	31.4	1.025	0.0		10.846	0.000	6.777	
22	9.500	0.0	1	S	0.0	10.846	0.000	6.772	Vel = 7.23
23	9.500	0.0	1	4E	10.8	1.050	0.000	33.817	
24	9.500	0.0	1	S	0.0	27.000	0.000	15.960	** Flare Loss = 15
25	9.500	31.4	1.025	0.0		4.45	0.000	0.2221	Vel = 12.21
26	9.500	0.0	0.75	T	4.773	20.000	0.000	55.035	
27	9.500	0.0	0.75	T	1.191	5.500	0.000	0.0	
28	9.500	31.4	0.785	0.0		25.956	0.0140	21.137	Vel = 20.82
29	9.500	31.40	0.0					76.172	K Factor = 3.00

Computer Programs by Hydraulic Inc. Revision: 50.53.5



Notes

NO NOTES

Fire Sprinkler Notes

STEPH AND JOE CUNHA
NEW HOWE CONSTRUCTION
5055 Sycuan Street
CORNING, CA 96034



DATE:

12/4/2019

SCALE:

SHEET:

FS1

Sprinkler Plan Notes
Scale: As Shown



FIRE SPRINKLER SYSTEM FOR CUNHA RESIDENCE 505 SPRUCE ST. GRIDLEY, CA

GENERAL NOTES

- SYSTEM DESIGN AND INSTALLATION SHALL COMPLY WITH NFPA 13-2016 EDITION, ALL LOCAL CODES AND THE BUTTE COUNTY FIRE DEPARTMENT REQUIREMENTS.
- SYSTEM DESIGN BASIS:
HYDRANT GALLY MOST DEMANDING 2 SPRINKLERS
- WATER TO SUPPLY INFORMATION:
STATIC - 87 PSIG RESIDUAL - 50 PSIG RESIDUAL FLOW - 350 GPM
- ALL PIPES SHALL BE:
UNDERGROUND - SCH 40E 1/2" RVS
ABOVE GROUND SUPPLIES - COPPER, TYPE K
OVERHEAD - N. ATIC - CPVC
- MANUFACTURERS OF RESIDENTIAL SPRINKLERS PUBLISH INFORMATION REGARDING THE SPACING OF THEIR SPRINKLERS WITH RESPECT TO HEAT PRODUCING DEVICES (REPLACES RANGES OVENS HEATING VENTS WATER HEATERS FURNACES ETC.) WHETHER OR NOT ALL HEAT PRODUCING DEVICES ARE SHOWN ON THE PLAN PROPER MINIMUM DISTANCES MUST BE MAINTAINED. SEE HEAT SOURCE CHART.
- THE MINIMUM DISTANCE BETWEEN ANY 2 RESIDENTIAL SPRINKLERS SHALL NOT BE LESS THAN 8 FEET.
- THE MAXIMUM DISTANCE BETWEEN ANY 2 RESIDENTIAL SPRINKLERS ON THIS PROJECT IS HYDRANT GALLY LIMITED TO 4 FEET. SPRINKLERS SHALL NOT EXCEED 8 FEET FROM ANY WALL.
- THE MINIMUM DISTANCE A SPRINKLER CAN BE LOCATED FROM A WALL IS 4 INCHES.
- INSTALLATION OF ALL RESIDENTIAL SPRINKLERS WILL BE IN STRICT COMPLIANCE WITH THE MANUFACTURERS INSTALLATION GUIDE.
- PROVIDE PROPER SCHEDULE PER CDS 313.7 AND NFPA 13D AND ALL APPLICABLE LOCAL CODES.

SYMBOL LEGEND

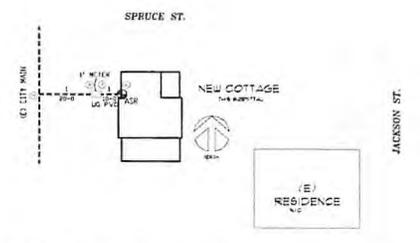
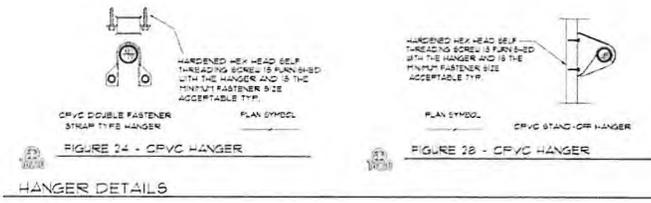
- CONCEALED RESIDENTIAL PENDENT SPRINKLER
- RECESSED RESIDENTIAL PENDENT SPRINKLER
- DRY UPRIGHT SPRINKLER
- NEW SPRINKLER PIPE
- SYSTEM RISER
- CHANGE IN PIPE ELEVATION
- HYDRAULIC REFERENCE POINT
- PIPE HANGER

HANGER SPACING OF VARIOUS PIPE MATERIALS	
PIPE	PIPE SIZE
MATERIALS	1/2" 3/4" 1" 1 1/4" 1 1/2" 2" 2 1/2" 3"
COPPER	6" 8" 9" 10" 12" 12" 12" 12"
	12" 15" 15" 15" 15" 17" 18" 18" 18"
CPVC	100" 15" 15" 15" 15" 17" 18" 18" 18"
	100" 4.5" 5" 5.5" 6" 7" 7.5" 8" 8.5"
SCHEDULE 40 STEEL	1" 12" 12" 15" 15" 15" 15"
MEDIUM WALL	1" 12" 12" 12" 12" 12" 12"
HEAVY WALL	3" 3" 4" 4.5" 5.5" 6" 6" 6"
HEAVY WALL (2)	6" 6" 6" 6" 6" 6" 6" 6"

TYCO SPRINKLERS		
PROXIMITY OF SPRINKLERS TO HEAT SOURCES		
	CRITICAL TEMP.	INTERMEDIATE TEMP.
LATERAL DISTANCE FROM THE SIDES OF AN OPEN OR RECESSED HEARTH FIREPLACE	3'-0"	1'-0"
RADIAL DISTANCE FROM A RECESSED HEARTH FIREPLACE	5'-0"	3'-0"
LATERAL DISTANCE FROM THE SIDES OF A LOGS OR COAL BURNING STOVE	2'-4"	1'-0"
LATERAL DISTANCE FROM THE SURFACE OF A KITCHEN RANGE	1'-4"	0'-9"
LATERAL DISTANCE FROM A WALL OVEN	1'-4"	0'-9"
LATERAL DISTANCE FROM THE SURFACE OF HOT AIR FUELS	1'-4"	0'-9"
LATERAL DISTANCE FROM UNINSULATED HEATING DUCTS	1'-4"	0'-9"
LATERAL DISTANCE FROM UNINSULATED WATER PIPES	1'-0"	0'-6"
LATERAL DISTANCE FROM THE SIDES OF A CEILING MOUNTED HOT AIR DRYER	2'-0"	1'-0"
LATERAL DISTANCE FROM THE SIDES OF A WALL MOUNTED HOT AIR DRYER	2'-0"	1'-0"
LATERAL DISTANCE FROM THE FRONT OF A WALL MOUNTED HOT AIR DRYER	3'-0"	1'-6"
LATERAL DISTANCE FROM THE SURFACE OF A WATER HEATER OR FURNACE	0'-6"	0'-3"
LATERAL DISTANCE FROM A 150 WATT OR LESS LIGHT FIXTURE	0'-4"	0'-3"
LATERAL DISTANCE FROM A 150 WATT TO 450 WATT LIGHT FIXTURE	1'-0"	0'-6"

Hanger Spacing Notes

- ALL LENGTHS SHOWN ARE THE MAXIMUM RECOMMENDED DISTANCE BETWEEN HANGERS EXPRESSED IN FEET.
- PROVIDE A HANGER WITHIN 6 INCHES OF ALL DROPS TO SPRINKLER HEADS AND USING CPVC PIPE.
- STEEL PIPE IS NOT ALLOWED IN SIZES LESS THAN 1 INCH.
- ** INDICATE INFORMATION THAT IS NOT AVAILABLE.
- CPVC = COPPER TUBE SIZE
- RS = RVS PIPE SIZE
- DENOTES LOCATION OF PIPE HANGER.



SITE PLAN
NOTE: THIS PLAN IS FOR HYDRAULIC REFERENCE ONLY. ALL UNDERGROUND INSTALLATION IS BY OTHERS.

ISSUES AND REVISIONS:	DATE	REVISION



PERMIT SHALL BE MAINTAINED	DATE	BY
SPRINKLERS		

DIAMOND M FIRE PROTECTION
2400 CATTLE DRIVE ROAD
CORNING, CA 96021
LIC. # C-16 463104
TELEPHONE: (530) 834-3624 FAX: (530) 834-1326

CUNHA RESIDENCE
505 SPRUCE ST
GRIDLEY, CA
APPROVAL: [Signature]
DATE: 12/4/2019
DRAWN BY: [Signature]
CHECKED BY: [Signature]
COVER SHEET
FP-1



Fire Sprinkler Plan
Scale: 1/4" = 1'

Fire Sprinkler Plans

**STEPH AND JOE CUNHA
NEW HOME CONSTRUCTION**
505 Spruce Street
Gridley, CA 95924

DATE: 12/4/2019
SCALE:
SHEET: **F52**

