

Gridley Planning Commission – Regular Meeting Agenda

Wednesday, May 19, 2021; 6:00 pm

Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

“Our purpose is to continuously enhance our community’s vitality and overall quality of life. We are committed to providing high quality, cost-effective municipal services and forming productive partnerships with our residents and regional organizations. We collectively develop, share, and are guided by a clear vision, values, and meaningful objectives.”

Notice of Temporary City Planning Commission Meeting Procedures

This meeting is being held in accordance with the Brown Act as currently in effect under the State Emergency Act, Governor Gavin Newsom’s Emergency Declaration related to COVID-19, and Governor Newsom’s Executive Order N-29-20 issued March 17, 2020 that allows attendance by Planning Commission, City staff and the public to participate and conduct the meeting by teleconference and to participate in the meeting to the same extent as if they were present. Comments from the public on agenda items will be accepted until 2pm on May 19, 2021, via email to jmolinari@gridley.ca.us or via the payment/document drop box at Gridley City Hall and will be conveyed to the Commission for consideration. The Commission appreciate the public’s adaptation and patience during this crisis.

You may attend via teleconference:

- Dial 1-888-204-5987
- Enter the Access Code 5767603#

CALL TO ORDER – Chair

ROLL CALL – Commission Secretary

COMMUNITY PARTICIPATION FORUM - Members of the public may address the Planning Commission on matters not listed on the agenda. The Planning Commission may not discuss nor act on any community participation item brought forward by a member of the community. Comments are requested to be limited to three (3) minutes.

CONSENT AGENDA

1. Commission minutes dated April 21, 2021

PUBLIC HEARINGS

2. **Variance No. 1-21;** Application for a variance from Title 17 of the zoning code development standards to reduce the corner side yard setback from 20 to 18 feet located at 1900 Northern Pintail Ct in the Single-Family Residential District (R-1) and Residential, Low Density (RLD) General Plan land use designation. (APN: 009-240-055)

- a. Receive Staff Report

- b. Open Public Hearing
- c. Close Public hearing
- d. Commission Discussion

3. **Site Development Plan Review 3-21;** SavMor; Proposed development of 2 parcels consisting of 1.83 and 0.5 acres totaling 2.33 acres to develop a single story 32,351 sf grocery store consisting of approximately 958 square feet per unit; the site will provide 108 parking spaces. The General Plan land use designation is Commercial and zoned General Commercial (C-2) located on Fairview Drive. (010-210-063, 010-210-052)

- a. Receive Staff Report
- b. Open Public Hearing
- c. Close Public Hearing
- d. Commission Discussion

CITY STAFF AND COMMISSION INFORMATIONAL UPDATES

ADJOURNMENT - to the regular meeting of the Planning Commission dated June 16, 2021.

This agenda was posted on the public bulletin board at City Hall at or before 6:00 p.m. on May 14, 2021. This agenda along with all attachments, if any, is available for public viewing online at www.gridley.ca.us and at the Administration Counter in City Hall, 685 Kentucky Street, Gridley, CA. This is a public meeting, and anyone may address the Planning Commission. Any documents that were provided to the Planning Commission after the Agenda packet was distributed are also available for public review during normal business hours.

Meeting facilities are accessible to persons with disabilities. By request, alternative agenda document formats are available to persons with disabilities. To arrange an alternative agenda document format or to arrange aid or services to modify or accommodate persons with a disability to participate in a public meeting, contact the City Clerk by calling 846-3631 (voice). This request should be received at least three working days prior to the meeting to accommodate your request.

Gridley Planning Commission – Regular Meeting Minutes

Wednesday, April 21, 2021; 6:00 pm
Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

“Our purpose is to continuously enhance our community’s vitality and overall quality of life. We are committed to providing high quality, cost-effective municipal services and forming productive partnerships with our residents and regional organizations. We collectively develop, share, and are guided by a clear vision, values, and meaningful objectives.”

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 - Enter the Access Code 5767603#
-

CALL TO ORDER

Chair Espino called the meeting to order at 6:01 pm.

ROLL CALL

Commissioners

Present: Espino, Dewsnap, Wolfe, S. Khan
Absent: R. Khan
Arriving after roll call: None

Staff present: Donna Decker, Planning Director
Rodney Harr, Police Chief

COMMUNITY PARTICIPATION FORUM

Chair Espino opened the forum and seeing no one present wishing to speak, closed it.

CONSENT AGENDA

1. Commission minutes dated January 20 and February 17, 2021

Motion to approve the consent agenda by Vice Chair Wolfe, seconded by Commissioner Dewsnup.

ROLL CALL VOTE

Ayes: Espino, S. Khan, Wolfe, Dewsnup

Motion passed, 4-0

PUBLIC HEARINGS

2. **General Plan Amendment GPA 2-20, Pre-zone RZ 2-20, and Tentative Subdivision Map 2-20; Annexation 2-20; Mitigated Negative Declaration 2-20; Darryl & Sue Bernard, Applicant; Application for a proposed General Plan Amendment, Pre-zone, Tentative Map, Annexation and Mitigated Negative Declaration of approximately 40.0 acres.** The applicant proposes to annex the property into the City of Gridley and amend the General Plan land use designation of Residential, Low Density, to General Plan Medium Density and pre-zoned for Single Family Residential District(R-1). The property is located on the east side of West Biggs Gridley Road, north and contiguous to the Heron Landing Subdivision (022-210-092)

Planner Donna Decker reviewed the staff report and gave a thorough overview of the proposed project. She also addressed most of the concerns that have been brought forward to date, correcting misconceptions that were circulated in flyers regarding the type of housing, density and safety issues.

Chief Harr addressed the Commission clarifying misconceptions/false statements made on social media and circulated in flyers regarding Gridley's crime rate and that new development increases crime.

Public comment was received and in addition to a form letter signed by residents, approximately nine residents spoke against the project stating such things as the current roads in the City should be repaired prior to new development in the City; there should be an additional entrance point off of West Biggs Gridley Road; heavy equipment will ruin the residential streets; new development will increase crime and speeding in the area and smaller lots will more likely turn into rentals and that will lower property values.

There was no action taken on this item.

CITY STAFF AND COMMISSION INFORMATIONAL UPDATES - None

ADJOURNMENT

With no items for further discussion, the Commission adjourned at 8:27 pm to the next regularly scheduled meeting on May 19.

DRAFT

Planning Commission Item #2
Staff Report

Date: May 19, 2021

To: Chair and Planning Commissioners

From: Donna Decker, Planning Department

Subject: **Variance No. 1-21;** Application for a variance from Title 17 of the zoning code development standards to reduce the corner side yard setback from 20 to 18 feet located at 1900 Northern Pintail Ct in the Single Family Residential District (R-1) and Residential, Low Density (RLD) General Plan land use designation. (APN: 009-240-055)

X	Regular
	Special
	Closed
	Emergency

Recommendation

City staff respectfully recommends the Planning Commission:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15305 (a), Class 5, Minor Alterations in Land Use Limitations; and,
2. Make the required variance findings as described within Exhibit A allowing the reduced streetside setback from 20 feet to 18 feet; and,
3. Approve Variance No. 1-21 with Conditions of Approval as shown in Exhibit B.

Summary

The applicant is requesting a variance from the development standards to reduce the side yard setback on the street side of a corner lot from twenty feet to eighteen feet. The proposed site plan depicts the requested reduction.

Site Description

The subject site is located in the Heron Landing Subdivision. It is a corner lot located on the northwest corner of Heron Landing Way and Northern Pintail Court. The lot is approximately



6,534 square feet in size (0.15 acre) and has required setbacks on the streetside of twenty feet (Heron Landing Way), twenty feet for the front yard setback (Northern Pintail Ct) a minimum of five feet at the interior sideyard, and a minimum of five feet at the rear yard setback area.

Figure 1: Location Map (nts)

Discussion

Background

The parcel is one of seventeen parcels that Mr. Sandeep Dhami had purchased to develop and requested guidance for the completion of the lots with single-family homes. The City and Mr. Dhami conducted several meetings both in person and via telephone conferences to develop the site more economically and independent of the housing types that had been approved. The City worked with Mr. Dhami and reviewed what the home type would need to be and how they fit within the required setbacks.

Mr. Dhami presented several models that could be used on any of the sites thus “masterplanning” the final construction to reduce potential additional costs. These were reviewed and accepted as viable substitutions for the proposed lot development.

Land Use

The project site is zoned R-1, Single Family Residential District with a General Plan land use designation of Residential, Low Density. The single-family residential district now has four (4) designations:

1. R-1A Parcels sized from 1,700 – 3,500 square feet
2. R-1B Parcels sized from 3,501 – 5,999 square feet
3. R1-C Parcels sized from 6,000 – 7,499 square feet
4. R-1 Parcels sized from 7,500 and greater

The parcel is considered R-1C.

Setback Requirements

The setback requirements for a corner lot are 20% of the frontage distance with a minimum of 5’ on the interior boundary and 20’ on the street side. The site is approximately 67 feet wide. Generally, the setback required would be approximately 13.6 feet for an interior lot. The requirement to have 20 feet and five feet realizes 42 feet available for the width of a new home.

Front Yard:	20’
Interior Side Yard:	5’
Rear Yard:	5’
Street Side:	20’

The proposed structure is 44’ in width. This allows only an 18’ street side setback. There is an approximately 4’ distance between the property line and the back of the sidewalk within the right-of-way.

The request to reduce the setback is not a significant alteration to the neighborhood and would not change the character of the subdivision.

The applicant proposes to construct a single story residential unit with a building footprint of 2,189 square feet. This equals a lot coverage of 33.5% meeting the development standards. The size of structure is compatible with the surrounding area. The resulting reduction will not have a visual impact to the subdivision and does not significantly encroach into the setback area.

Proposed Structure

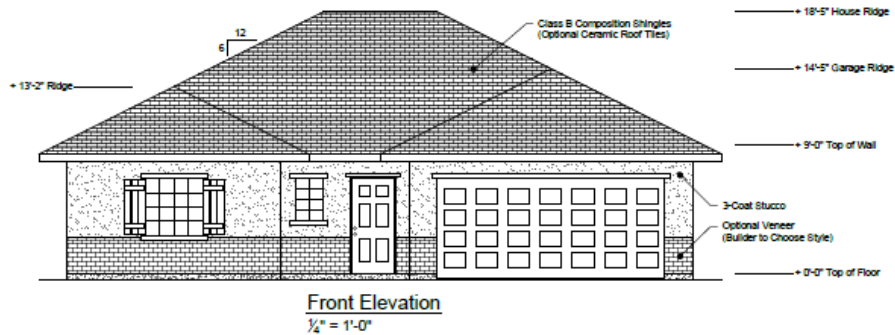


Figure 3: View on Northern Pintail Court

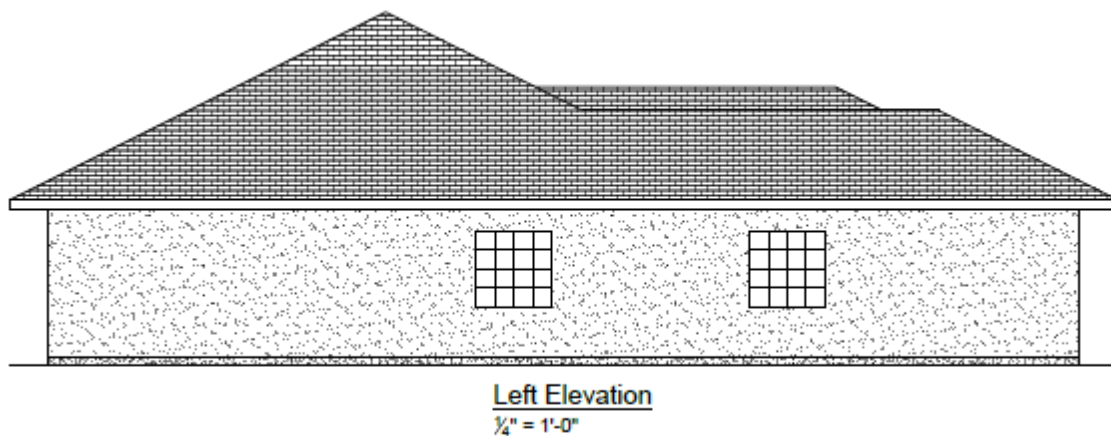


Figure 4: View on Heron Landing Way

The proposed architecture is compatible with other construction in the subdivision.

Findings:

Variances are entitlements that are supported when there are site constraints that preclude any other solution to meet the code. The site is approximately 1,000 square feet smaller than a standard R-1 lot. Should the commission believe that the variance can be supported it will need to make the Variance Findings as shown on Exhibit A.

Conclusion

The applicant provided the City with master planned units to place on lots. When the City reviewed the request, it was not evident that setbacks may not be able to be met. The applicant proceeded with the development of plans, submitted to the County for review as master plans to streamline the process and when requesting authorization to submit for building permits, it was clear the unit did not fit on the site meeting the setbacks.

Public Notice

A notice was posted in the Gridley Herald 10 days in advance of the Planning Commission meeting, mailed to residences within 300 feet of the site, posted at City Hall, made available at the Administration public counter, and placed on the City website for review. At the time this report was prepared no comments had been received.

Environmental Review

The project to be categorically exempt in accordance with Section 15305, Class 5, of the California Environmental Quality Act (CEQA):

Class 5 consists of minor alterations in land use limitations in areas with an average slope of less than 20%, which do not result in any changes in land use or density, including but not limited to:

- (a) Minor lot line adjustments, side yard, and set back variances not resulting in the creation of any new parcel.

Attachments –

- 1. Exhibit A Variance Findings
- 2. Exhibit B Conditions of Approval

Exhibit A

Variance Findings

- A. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to lands, structures or buildings in the same district;**

Special conditions exist that support the reduced street side setback in that the lot is smaller than a standard lot size. Other lots with similar configurations have experienced difficulty in providing a plan to fit.

- B. That literal application of the provisions of this title would deprive, the applicant of rights commonly enjoyed by other properties in the same district under the terms of this title;**

The literal application of the development standards would deprive this property of the same rights that others enjoy with similar conditions of their property. Other similar variances have been supported to allow a reduced side yard setback on the street corner lot.

- C. That the granting of such application will not, under the circumstances of the particular case materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant, and will not under the circumstances of the particular case, be materially detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

Allowing the property owner the planning entitlement to reduce the corner street side setback will not adversely impact the health or safety of ensure the health and safety of persons residing adjacent to and proximate to the site and will not be detrimental to the public welfare or injuruious to property or improvements in the neighborhood.

Exhibit B
Draft Conditions of Approval
Variance No. 1-21

1. The approved Variance No. 1-21 shall be substantially as described within this staff report, submitted site plans, narratives, and applications on file in City Hall except as modified by the following conditions. Minor changes to the approval may be allowed subject to the review and approval by the City Administrator or designee, if the request is in substantial conformance to this approval.
2. The applicant/property owner shall file a Declaration of Acceptance of the Final Conditions of Approval within 30 days of Planning Commission approval.
3. The applicant/owner shall submit an application for a building permit with plans drawn to scale to the Building Department to determine all applicable improvement and fee requirements. Plans shall be provided for submittal to the Fire Department. The applicant shall pay the required building permit and inspection fees.
4. Revise the site plan to have the front (west) side of the structure to the required front yard setback. The south side of the building, Bedroom Number 4, encroaches into the front yard setback area.
5. Revise the drawing dates to reflect the revision dates and submittal date.
6. Provide a landscaping and irrigation plan for front and side yards per Ch. 13 of the GMC.
7. Prior to a Certificate of Occupancy, the site shall have a water audit completed to confirm the irrigation system operates in accordance with the required efficiency. If it does not, the recommended changes shall be implemented so that it will.
8. This variance approval will lapse within one (1) year from the date of approval unless residential unit has begun construction. The City Administrator or designee may grant an extension if no modifications to the approval are requested, otherwise, the request for extension may be forwarded to the Planning Commission for action.
9. All other code requirements shall be met and the applicant shall pay all required development impact fees as required by the City of Gridley.

Planning Commission Item #3
Staff Report

Date: May 19, 2021
To: Chair and Planning Commissioners
From: Donna Decker, Planning Department

X	Regular
	Special
	Closed
	Emergency

Subject: **Site Development Plan Review 3-21;** SavMor; Proposed development of 2 parcels consisting of 1.83 and 0.5 acres totaling 2.33 acres to develop a single story 32,351 sf grocery store consisting of approximately 958 square feet per unit; the site will provide 108 parking spaces. The General Plan land use designation is Commercial and zoned General Commercial (C-2) located on Fairview Drive. (010-210-063, 010-210-052)

Recommendation

City staff respectfully recommends the Planning Commission:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15303(d), Class 3 (b & c), New Construction or Conversion of Small Structures and Section 15332(a-e), Class 32, Infill Development Projects; and,
2. Approve Site Development Plan Review 3-21.

Summary

The applicant is requesting to construct a 32,351 square foot, single-story building for a proposed grocery store. The development will merge two parcels together to form a 2.33-acre parcel for the building and 108 parking stalls. The project requires a Site Development Plan Review by the Planning Commission.

Discussion

Location

The subject site is located on the east side of Highway 99 with frontage also on Fairview Street. The use of the surrounding properties is commercial adjacent to the west and south, residential on the north and east along with the City of Gridley Utility yard. Ingress and egress to the site will be from both Highway 99 and Fairview.

General Plan/Zoning

The property has a General Plan land use designation of Commercial and C-2, General Commercial zoning. The proposed use of the site is consistent with the land use designations.



Figure 1: Location Map



Figure 2: Existing Conditions

Cart corrals are located in proximity to parking. Truck access and delivery is proposed at

Site Design

The site has been designed to have access from both Highway 99 and Fairview Drive for patrons to enter and exit. Blending two parcels, the site is designed to provide adequate parking for standard 90-degree stalls, parallel stalls and ADA parking both in front of the building and on the east side of the parking area. The site is a part of a shopping "district" that shares parking with cross access easements for Ace Hardware, Autozone, ARCO, and the proposed Savmor. Landscaping islands on the ends of the parking aisles along with interior planters provide shade and color to the area.

The Code limits the lot coverage to 90% of the total area. The actual areas could not be determined at the time the staff report was prepared. The proposed layout maximizes the use of the site and will build-out the remainder of the area for commercial use. A conditional use permit may be processed to allow a deviation from the development standards. A condition of approval has been added.



In accordance with Chapter 17.76, the code requires a minimum of one space for each 300 square feet of building floor area. The plans reflect a ratio of 3.33/1,000 square feet which related to consistency of the Gridley Municipal Code:

- The standard 90-degree parking stalls are proposed to be 10' x 20' meeting the code. The

The enclosures also have a canopy and welded wire mesh cap to prevent unauthorized access.



Figure 5: Elevation facing the parking area

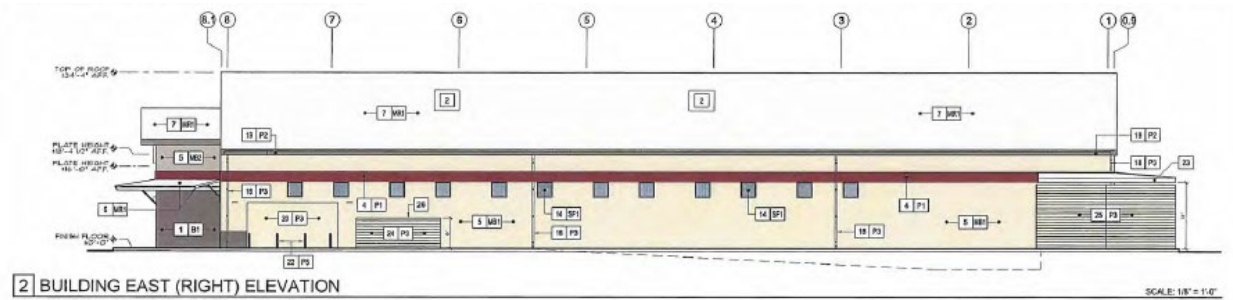


Figure 6: Elevation facing Fairview Drive

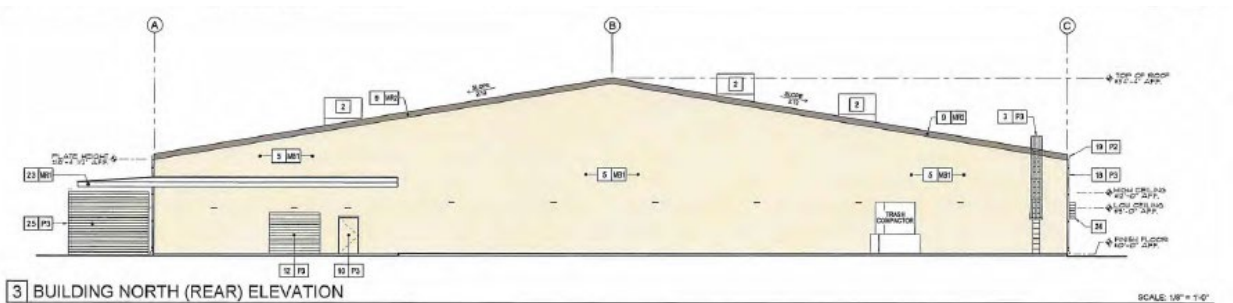


Figure 7: Elevation facing wall at the north side (delivery)

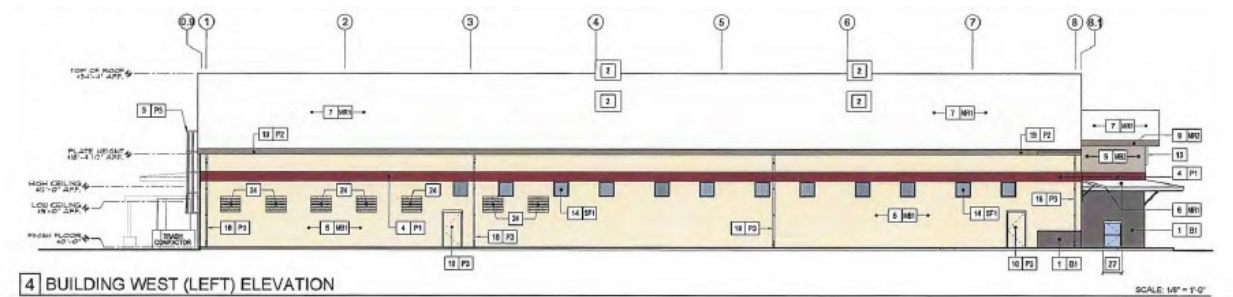


Figure 8: Elevation facing ARCO site

The proposed color palette provides complementary/contrasting tones and trim:

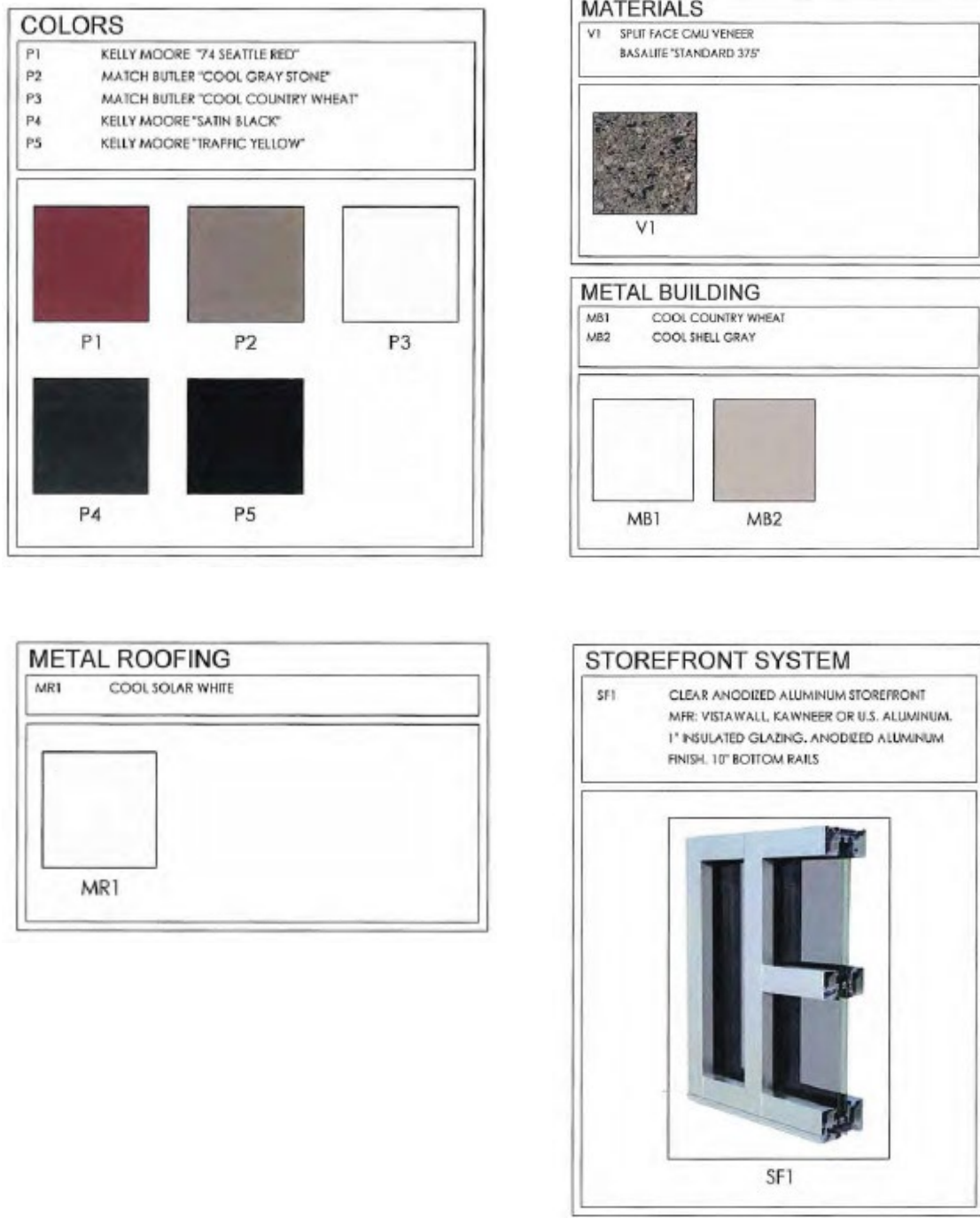


Figure 9: Exterior Building Colors and Materials

Landscaping

The project has submitted a Landscaping Plan and will be conditioned to submit landscape and irrigation plans and water use calculations prior to permit issuance. The site has provided planters along the perimeter and within the parking areas for trees, shrubs and groundcover.

Conclusion

Staff supports the unique opportunity presented with this project to provide the City with the buildout of the site.

Public Notice

A notice was posted in the Gridley Herald 10 days in advance of the Planning Commission meeting, posted at City Hall, made available at the Administration public counter, mailed to property owners within 300 feet of the property, and placed on the City website for review. At the time this report was prepared no comments had been received.

Environmental Review

The proposed project is categorically exempt from CEQA.

Attachments –

1. Exhibit A- Draft Conditions of Approval
2. Exhibit B- Project Plans

Exhibit A
DRAFT CONDITIONS OF APPROVAL
Site Development Plan Review No. 3-21
APN 010-210-063, 010-210-052

Approved Use:

Site Development Plan Review for a proposed development of 2 parcels consisting of 1.83 and 0.5 acres totaling 2.33 acres to develop a single story 32,351 sf grocery store consisting of approximately 958 square feet per unit; the site will provide 108 parking spaces. The General Plan land use designation is Commercial and zoned General Commercial (C-2) located on Fairview Drive. (010-210-063, 010-210-052)

Conditions of Approval:

General

1. The approved use for SDP 3-21 shall be substantially as described within this staff report, submitted site plans, narratives, and applications on file in City Hall except as modified by the following conditions. Minor changes to the use, areas, and etc. shall be subject to the review and approval by the Planning Department. Provide electronic files in pdf format at scale.
2. The applicant shall submit for review and approval details, materials, and paint samples for the structure prior to installation/application/construction.
3. The applicant/property owner shall file a Declaration of Acceptance of the Final Conditions of Approval within 30 days of Planning Commission approval.
4. All construction shall be in accordance with all of the City of Gridley and the County of Butte currently adopted Building Codes; including but not limited to the Plumbing Code, Mechanical Code, Electrical Code, and the California Green Building Standards Code.
5. The applicant shall coordinate with the Gridley Municipal District Electrical Department, the City Engineer, and the Public Works Director for all utilities. The location of the proposed transformer and transformer pad will need to be located as directed by the City Electric Utility Director.
6. The applicant/owner shall submit an electronic file along with two (2) sets of plans for all work to the City of Gridley Planning Department to review for conformance to the Gridley Municipal Code prior to submittal to the County of Butte for building permit review.
7. Prior to construction, the applicant shall have all required approvals and an encroachment permit from the City of Gridley Public Works and Utility Departments prior to performing any work within the right-of-way. All work on utilities shall be coordinated with the Gridley Municipal Utility Department.

8. An exterior lighting plan shall be submitted for review and approval prior to permit issuance. The plan shall ensure that lighting is shielded or recessed to prevent direct glare and reflection is confined to the maximum extent possible to the site and does not go beyond the property boundaries. Exterior lighting shall be considerate of "Dark Sky" design and direct all lighting downward. Light foot-candles shall be at the lowest levels allowed and shall be placed on photovoltaic cells and sensor switches in conformance to the Green Building Code.
9. Plans for submittal shall incorporate all required California Green Building Standards Code or the most recently adopted code by the State of California and its revisions and requirements.
10. Decorative acorn lighting shall be provided and installed as determined by the City of Gridley Electric Utility Director.
11. A sign permit application shall be submitted to the City of Gridley for review and approval by the Planning Department prior to signage being placed on any structure or site location.
12. An application for a lot merger shall be submitted for review and approval to record a Certificate of Compliance merging the two parcels, 010-210-063 and 010-210-052.
 - a. Provide a current title report.
 - b. Provide a legal description to define the boundary of the parcel.
 - c. Verify the landscape easement where new angle parking will be constructed and ensure it is removed.
13. Provide a copy of the Parcel Map filed for AMPM ARCO. Also provide the as-built plans of the ARCO development.
14. An application for a Conditional Use Permit shall be submitted for review and approval by the Planning Director in accordance with Chapter 17.08 of the Gridley Municipal Code.
15. Submit plans for review to Caltrans for comment, if any, related to signal timing and any lane configurations. Consult with Caltrans and the City Engineer related to traffic flow.
16. The property owner shall enter into a written agreement for the maintenance of the building, site, and site amenities, paving, and walkways in a form suitable for recordation with the Butte County Recorder binding upon the property owner and his/her successor(s) in interest. This agreement, at a minimum, shall state that all facilities and related equipment, including lighting, fences building facades, and materials shall be maintained in good repair, free from trash, debris, litter and graffiti, and other forms of vandalism, and any damage from any cause shall be repaired as soon

as reasonably possible to minimize occurrences of dangerous conditions or visual blight. All pavement markings shall be maintained so as to be clearly visible throughout the life of the development. Trash, debris, litter or graffiti shall be removed from the site and any facility or equipment as soon as practicable and in no instance more than forty-eight hours from the time of notification by the City. The agreement shall acknowledge that any costs incurred by City staff due to non-responsiveness by the owner or manager of the site will be the responsibility of the property owner not taken care of, the costs of any cleanup by City staff will be a fee born by the owner and his/her successor(s) in interest. Independent agreements shall be for the State and for the City of Gridley.

17. A bicycle rack shall be provided at the site. The location shall be reviewed and approved by the City of Gridley.
18. The project shall ensure that all noise levels can meet the requirements during construction and after completion during all hours of operation.
19. A six-foot high split-face with cap concrete masonry wall shall be constructed at the north property line.
20. A minimum of five feet of landscaping shall be provided from the property line to the back of sidewalk within the right-of-way.
21. Complete off-site improvements shall be designed, reviewed and approved by the City Engineer prior to permit issuance. Off-site improvements shall be submitted for review and approval by the City of Gridley and shall include the construction of curb, gutter, sidewalk, plan and profile in right-of-way utilities being tied into (sewer, water, and storm drain, manholes as required), landscaping buffer, irrigation components, fire hydrants, and all electrical connections. Relocation of the any utility pole shall also be shown on the plan; show existing location and the proposed new location. Electrical shall be undergrounded.
22. Plans shall be submitted for review and approval for all open space, landscaping, irrigation, fencing for review and approval by the Planning Department of the City of Gridley and the Butte County Building Department prior to permit issuance. A water audit shall be provided using the can method prior to obtaining a certificate of occupancy to meet the water efficiency requirements.
23. Plans for submittal shall comply with all Fire Department requirements. The applicant shall contact the City of Gridley Fire Department/CalFire for review and approval of site development plans and fire sprinkler systems. Clearly show the fire riser location on the plans for review and approval.
24. Plans shall reflect the placement of all gutters and downspouts and depict the direction of flow.

25. During construction, all Butte County Air Quality mitigation measures shall be complied with.
26. Prior to construction, General Construction Permit Best Management Practices shall be met and in place prior to construction. Applicant shall obtain a WDID # and SWPPP plan. Verification of required inspections shall be submitted to the City for review.
27. Landscaping and irrigation plan meeting Chapter 13 of the Gridley Municipal Code shall be submitted for review and approval prior to certificate of occupancy.
28. All services and landscape supply lines shall have backflow prevention devices, caged/bagged.
29. Provide an arborists report to determine the existing trees to be removed, size at dBH, canopies, and species.
30. The contractor shall saw cut at the centerline of the Fairview Drive and pave from the centerline to the gutter. The site shall be designed with ac tapers to existing pavement at the north and south limits. An AC transition shall be provided from the sidewalk to existing grade shall not exceed 2% slope.
31. The project shall construct curb, gutter, and sidewalk on Fairview Drive and shall tie into existing improvements.
32. Plans shall depict all existing features 100 feet outside of the project boundary, including all structure, fences, trees, pools, utilities, etc. and shall clearly show what elements will be removed and/or demolished.
33. Provide a drainage plan and hydraulic analysis, and direction of flow. Post development flows shall not exceed pre-development flows. Coordinate with the Reclamation District and the City Engineer.
34. Show 100-year overland release to natural drainage in the event any on-site drainage inlet is plugged.
35. Vehicle overhang shall not infringe into any walkway limiting pedestrian access per Title 24. This may require parking bumpers.
36. Show proposed street grades on improvement plans.
37. Show water and sewer connection locations within the site and off-site for review and approval.
38. Provide a geotechnical report.

39. All drainage and sewer lines shall be designed in accordance with the state water main separation requirements of Chapter 22 section 64572 of the California Code of regulations.
40. Approval of the City Engineer is required prior to any onsite, or off-site work being done.
41. Add the City of Gridley "Engineer of Work's Certificate" below to Civil Cover Sheet.

ENGINEER OF WORK'S CERTIFICATE I, _____,
hereby declare that I am the Engineer of Work for this project, that I have exercised responsible charge over the design of the project as defined in Section 6703 of the Business and Professions Code, and the design is consistent with current standards of the City of Gridley and Special Districts having jurisdiction within the City. I understand that the check of project drawings and specifications by the City of Gridley and /or its contract City Engineer or their representative is confined to a review only and does not relieve me of responsibilities for project design. Signed

_____ Date _____ R.C.E. No.

_____ Exp. _____ Firm

Address _____

Telephone: _____

42. Add the following to the site plan:

Reviewed by:
Reclamation District 2056 Engineer

Jeff Spence, PE. Date:

Approval of Reclamation District 833 and/or RD 2056 is required prior to any onsite construction.

EXHIBIT B



APPLICANT

HILBERS INC
1210 STABLER LANE
YUBA CITY, CA 95993
PHONE (530) 673-2947
FAX (530) 674-9578
CONTACT: NICK HILBERS

ARCHITECT

SCOTT GIBSON ARCHITECT INC.
574 MANZANITA AVE. SUITE #9
CHICO, CA. 95926
CONTACT: SCOTT GIBSON
PHONE: (530) 591-7544
EMAIL: scottg@sgarchitect.net

LANDSCAPE ARCHITECT

ALPINE LANDSCAPING
2107 KENNEDY AVENUE
CHICO, CA 95973
CONTACT: MIKE HRADECKY
OFFICE (530) 893-2620
CELL (530) 624-6738
EMAIL: mike@alpinelandscape.net

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A0 SITE PLAN
A1 FLOOR PLAN
A2 EXTERIOR ELEVATIONS
A3 COLORED EXTERIOR ELEVATIONS
A4 MATERIALS AND FINISHES

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C01 TITLE SHEET
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L1 PRELIMINARY LANDSCAPE PLAN
L1.1 COLORED SITE PLAN

OWNER

HILBERS INC
1210 STABLER LANE
YUBA CITY, CA 95993
PHONE (530) 673-2947
FAX (530) 674-9578
CONTACT: NICK HILBERS

CIVIL ENGINEER

MHM INC.
1204 E STREET
MARYSVILLE, CA 95901
CONTACT: JOHN MALLEN, P.E., P.L.S.
PHONE: (530) 742-6485
FAX: (530) 742-5639

PROPOSED USE

COMMERCIAL/RETAIL



SCOTT GIBSON ARCHITECT, INC.
574 MANZANITA AVE. SUITE #9
CHICO, CALIFORNIA 95926
PHONE: (530) 343-7557



REVISIONS

NO.	DATE	DESCRIPTION

\$ SAV·MOR \$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

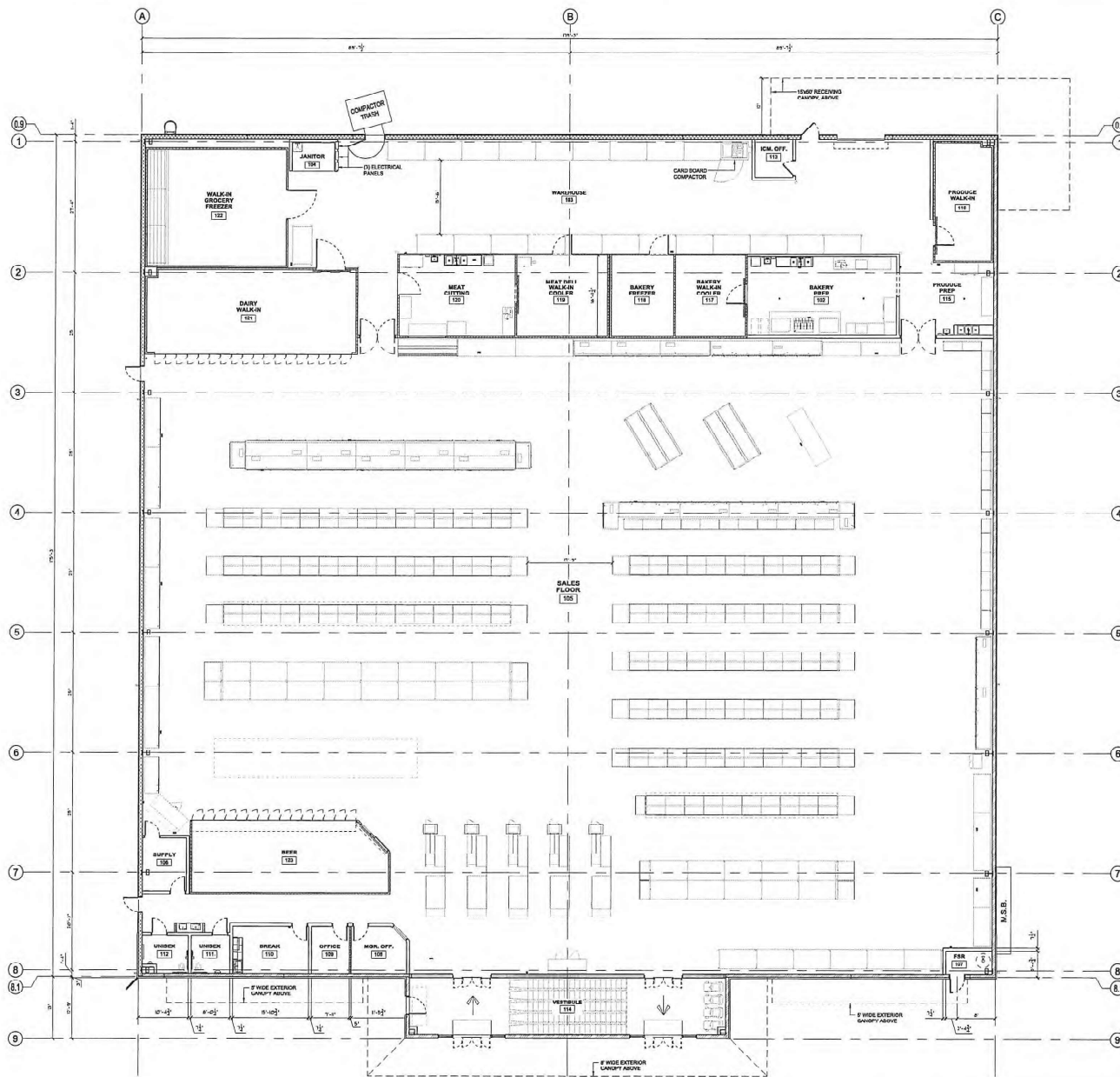
COVER SHEET

DATE: 03/25/2021

JOB NO. 20.031

T1

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Proposed Floor Plan



DATE: 03/28/2021
JOB NO. 20.031

A1

FLOOR
PLAN

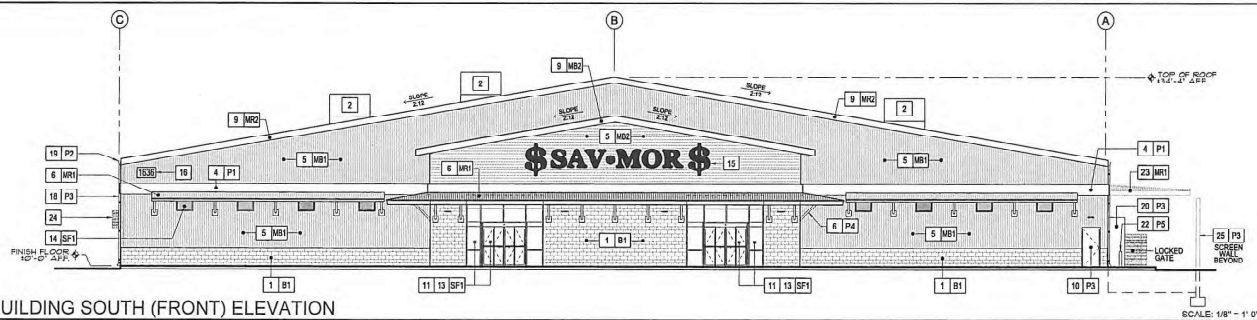
\$SAV-MOR\$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

REVISIONS	
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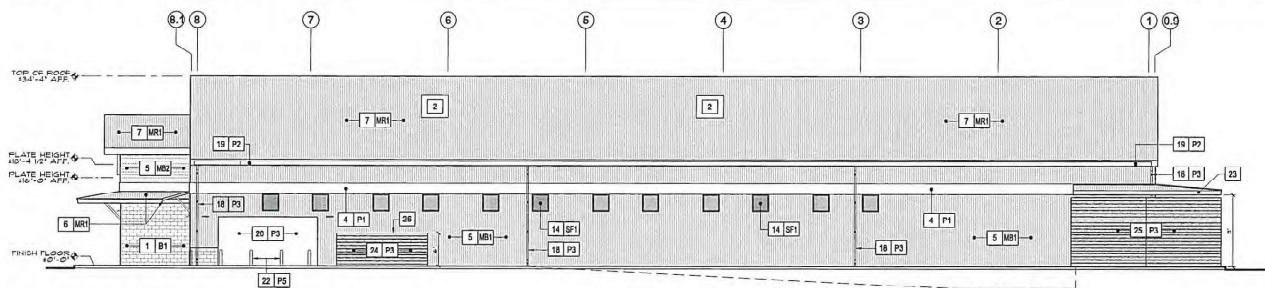


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PHONE: (530) 343-7857

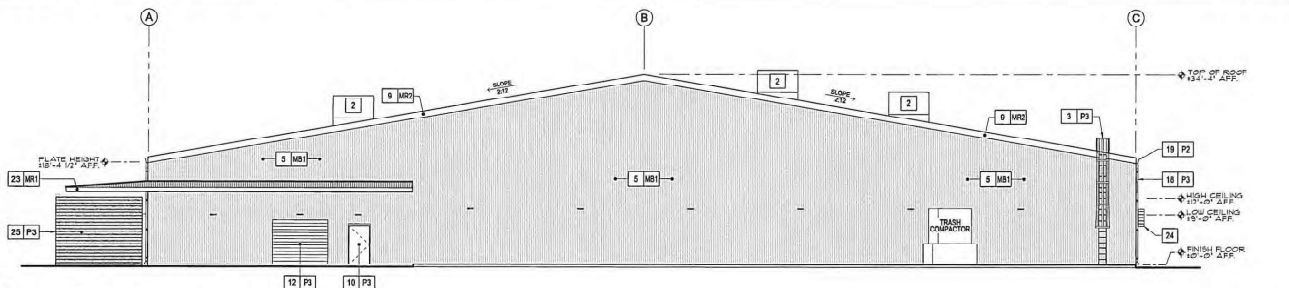
SCA
ARCHITECT



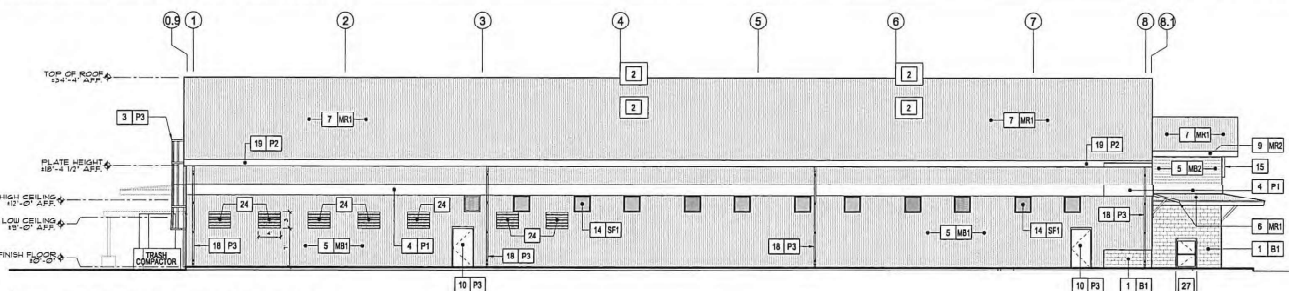
1 BUILDING SOUTH (FRONT) ELEVATION



2 BUILDING EAST (RIGHT) ELEVATION



3 BUILDING NORTH (REAR) ELEVATION



4 BUILDING WEST (LEFT) ELEVATION

KEY NOTES

- SPLIT FACE CMU VENEER, BASALITE "STANDARD 375"
- ROOF TOP UNIT - FINAL LOCATIONS T.B.D.
- ROOF ACCESS LADDER
- DECORATIVE HORIZONTAL METAL BAND.
- 24 GA. EXTERIOR METAL PANELS.
- STEEL CANOPY, MATCH ROOF PANEL FINISH.
- 24 GA. INSULATED ROOF PANELS.
- METAL BUILDING FASOLA.
- METAL BUILDING RAKE END.
- HOLLOW METAL DOOR.
- ALUMINUM STOREFRONT SYSTEM
- ROLL UP DOOR
- PAIR AUTOMATIC SLIDING DOORS
- FIXED DUAL PANE ALUMINUM WINDOWS.
- FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT
- BUILDING ADDRESS NUMBERS, 12" HIGH LETTERS. VERIFY STYLE AND COLOR WITH OWNER. COLOR TO CONTRAST WITH BUILDING FINISH. LETTERS SHALL BE EXTERNALLY ILLUMINATED AND VISIBLE FROM THE STREET AT NIGHT. SEE ELECTRICAL DRAWINGS.
- KNOX COMPANY KEY BOX MOUNTED AT (+) 5'-0" FROM GRADE ON DOOR HARDWARE SIDE OF DOOR. KEY BOX SHALL CONTAIN KEYS THAT PROVIDE ACCESS TO THE FIRE SPRINKLER AND FIRE ALARM PANELS IN THE CONTROL ROOM DURING AN EMERGENCY.
- DOWNSPOUT, MATCH METAL PANEL.
- GUTTER, MATCH METAL PANEL.
- MAIN ELECTRICAL SWITCHBOARD
- BIKE RACKS (BY OTHERS)
- 4" DIA. RPI IN FILL, RCH L ARRS
- RECEIVING AREA CANOPY STRUCTURE
- H.V.A.C. / REFRIGERATION EQUIPMENT SCREEN WALL (1/8" CEDAR BOARDS WITH 3/4" GAP)
- LOADING DOCK SCREEN WALL (1/8" CEDAR BOARDS WITH 3/4" GAP)
- WELDED WIRE MESH CAP AT TOP TO PRECLUDE ACCESS - TYPICAL
- GROCERY CART RETURN DOOR

KEY NOTES

- SHEET NOTES
- REFER TO SHEET # FOR MATERIAL AND FINISHES
 - ALL EXTERIOR SIGNAGE WILL BE SHOWN UNDER SEPARATE SUBMITTAL



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PHONE: (530) 343-7357



REVISIONS

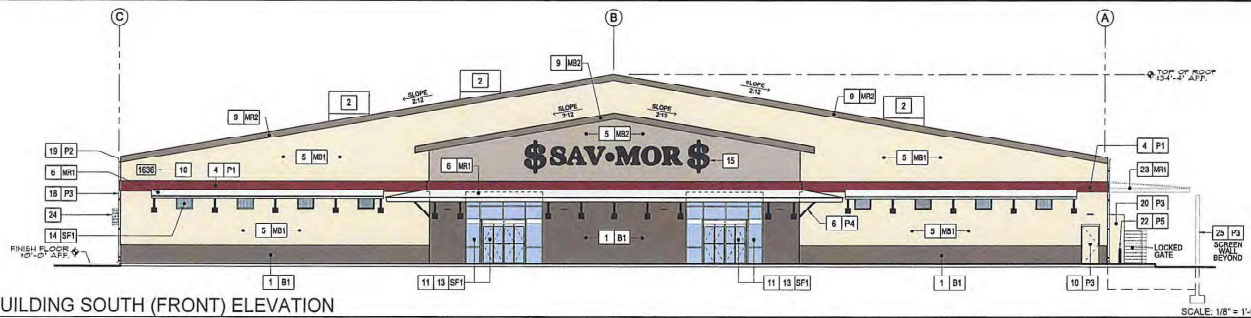
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\$SAV-MOR\$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

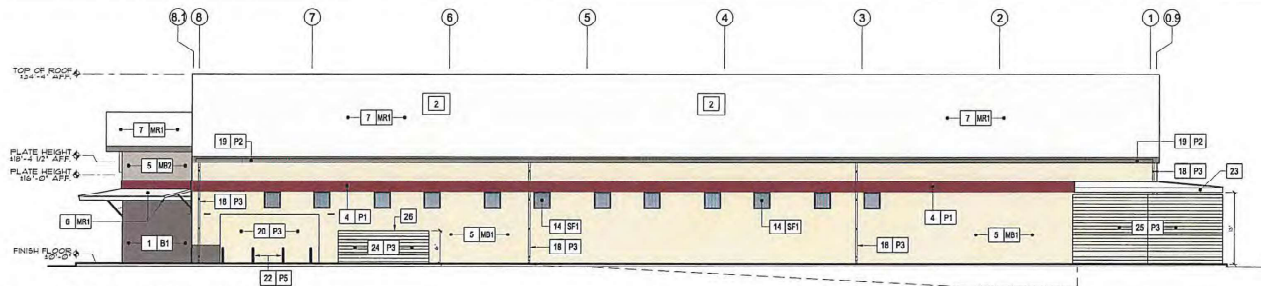
EXTERIOR
ELEVATIONS

DATE: 03/25/2021
JOB NO. 20.031

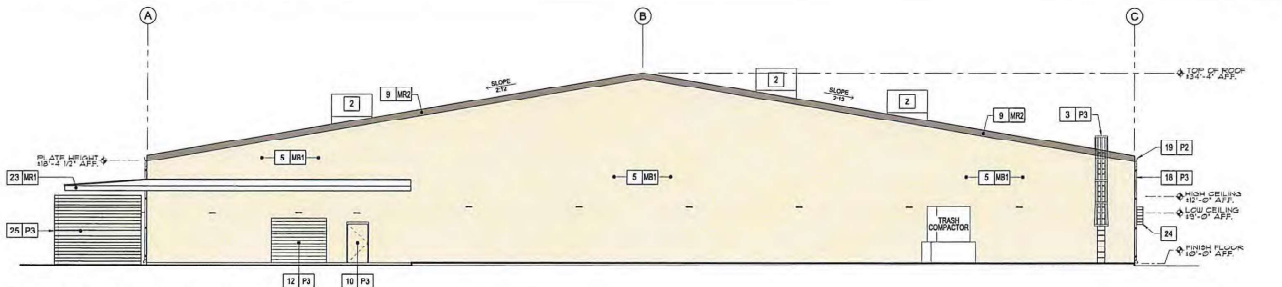
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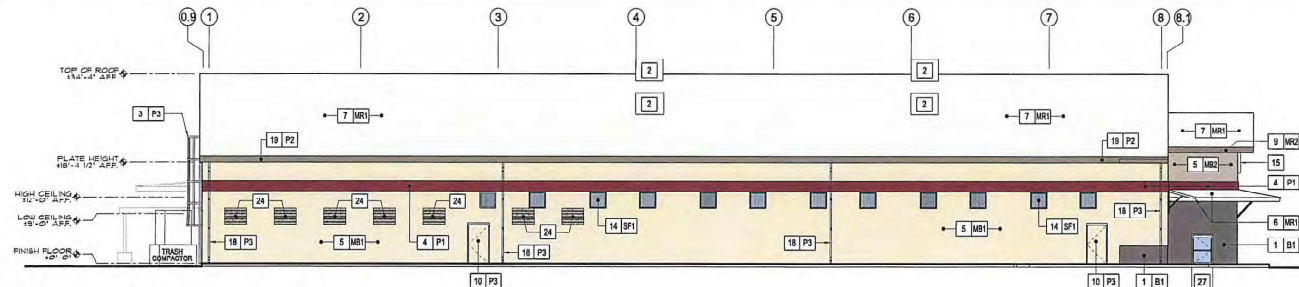
1 BUILDING SOUTH (FRONT) ELEVATION



2 BUILDING EAST (RIGHT) ELEVATION



3 BUILDING NORTH (REAR) ELEVATION



4 BUILDING WEST (LEFT) ELEVATION

KEY NOTES

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- 3 ROOF ACCESS LADDER
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- 7 24 GA. INSULATED ROOF PANELS.
- 8 METAL BUILDING FASCIA.
- 9 METAL BUILDING RAKE END.
- 10 HOLLOW METAL DOOR.
- 11 ALUMINUM STOREFRONT SYSTEM
- 12 ROLL UP DOOR
- 13 PAIR AUTOMATIC SLIDING DOORS
- 14 FIXED DUAL PANE ALUMINUM WINDOWS.
- 15 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT
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- 18 DOWNSPOUT, MATCH METAL PANEL.
- 19 GLUTTER, MATCH METAL PANEL.
- 20 MAIN ELECTRICAL SWITCHBOARD
- 21 BIKE RACKS (BY OTHERS)
- 22 4" DIA. SOLID FILL BOLLARDS
- 23 RECEIVING AREA CANOPY STRUCTURE
- 24 H.V.A.C. / REFRIGERATION EQUIPMENT SCREEN WALL (1x6 CEDAR DOARDS WITH 3/4" GAP)
- 25 LOADING DOCK SCREEN WALL (1x6 CEDAR DOARDS WITH 3/4" GAP)
- 26 WELDED WIRE MESH GAF AT TOP TO PRECLUDE ACCESS - TYPICAL
- 27 GROCERY CART RETURN DOOR

KEY NOTES

- SHEET NOTES:
- REFER TO SHEET A7 FOR MATERIAL AND FINISHES
 - ALL EXTERIOR SIGNAGE WILL BE SHOWN UNDER SEPARATE SUBMITTAL



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REVISIONS

REV	DATE	DESCRIPTION

\$ SAV-MOR \$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

COLOR EXTERIOR
ELEVATIONS

DATE: 03/25/2021
JOB NO. 20.031

A3

STOREFRONT SYSTEM

SF1 CLEAR ANODIZED ALUMINUM STOREFRONT
MFR: VISTAWALL, KAWNEER OR U.S. ALUMINUM.
1" INSULATED GLAZING, ANODIZED ALUMINUM
FINISH, 10" BOTTOM RAILS



SF1

COLORS

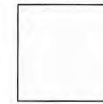
P1 KELLY MOORE "74 SEATTLE RED"
P2 MATCH BUTLER "COOL GRAY STONE"
P3 MATCH BUTLER "COOL COUNTRY WHEAT"
P4 KELLY MOORE "SATIN BLACK"
P5 KELLY MOORE "TRAFFIC YELLOW"



P1



P2



P3



P4



P5

MATERIALS

V1 SPLIT FACE CMU VENEER
BASALITE "STANDARD 375"



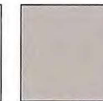
V1

METAL BUILDING

MB1 COOL COUNTRY WHEAT
MB2 COOL SHELL GRAY



MB1



MB2

METAL ROOFING

MR1 COOL SOLAR WHITE



MR1



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CHICO, CALIFORNIA 95926
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REVISIONS

REV	DATE	DESCRIPTION

\$SAV-MOR \$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

MATERIALS
AND FINISHES

DATE: 03/25/2021

JOB NO. 20.031

A4

GENERAL NOTES:

- OWNER/DEVELOPER:
HILBERS PROPERTIES, INC.
1204 E STREET, P.O. BOX 8
MARYSVILLE, CALIFORNIA 95901
- CIVIL ENGINEER:
MMH INCORPORATED
1204 E STREET, P.O. BOX 8
MARYSVILLE, CALIFORNIA 95901
- ARCHITECT:
SCOTT GIBSON ARCHITECT, INC.
574 MANZANITA AVE., SUITE #9
CHICO, CALIFORNIA 95926
PHONE: (530) 343-7557
- GEOTECHNICAL ENGINEER:

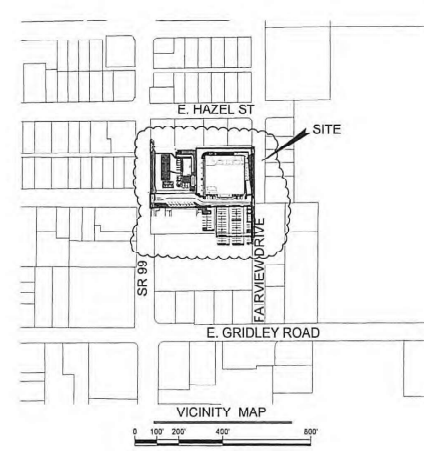
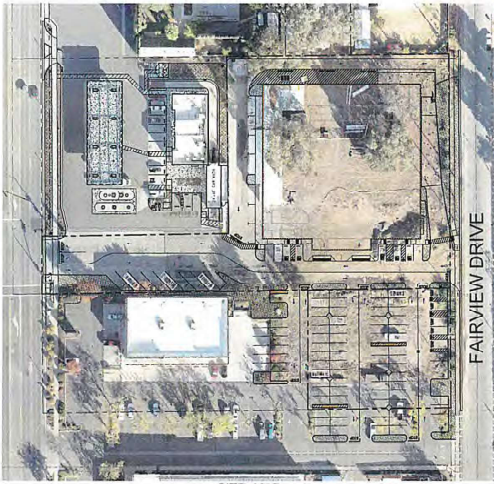
SHEET INDEX

SHEET NO.	DESCRIPTION
C1	TITLE SHEET, GENERAL NOTES, AND VICINITY MAP
C2	SURVEY & DEMOLITION PLAN
C3	GRADING AND DRAINAGE PLAN
C4	PAVING AND ENGINEERED FILL PLAN
C5	LAYOUT PLAN
C6	EROSION CONTROL PLAN
C7	SITE UTILITIES PLAN
C8	CONSTRUCTION DETAILS 1
C9	CONSTRUCTION DETAILS 2

WDID NO. _____

- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTING OF FILL SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND UNDER THE CONTROL OF THE SOILS ENGINEER. RECOMMENDATIONS OF THE SOILS REPORT SHALL BE STRICTLY ADHERED TO.
- EXISTING UTILITIES, AT ALL TIMES DURING CONSTRUCTION, SHALL BE MAINTAINED AND PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND OPERATING EQUIPMENT ON THE SITE. SHALL PREVENT THE FORMATION OF ANY AIRBORNE POLLUTANT BY WELDING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT SHALL PREVENT THE FORMATION OF ANY AIRBORNE POLLUTANT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST FROM HIS OWN ACTIVITIES OR HIS SUBCONTRACTORS' ACTIVITIES IN PERFORMING THE WORK UNDER HIS CONTRACT, AND SHALL BE RESPONSIBLE FOR ANY CONTAMINATION, FUMES OR FUMES FROM THIS PROJECT OR NEARBY.
- ANY EXISTING UNDERGROUND UTILITIES EXPOSED DURING GRADING SHALL BE REMOVED OR ADEQUATELY PLUGGED.
- ROUNDED CUT SLOPES TO BE GRADIENT WITH THE NATURAL GROUND CONTOUR.
- PROVIDE TO COMMUNICATE ANY GRADING ON THE SITE. THE CONTRACTOR SHALL MARK THE EXISTING BOUNDARIES CORNER WITH A 6" POST WITH THE TOP 2 FEET PAINTED RED. BOUNDARY MARKERS SHALL BE MAINTAINED UNDISTURBED THROUGHOUT THE GRADING OPERATION.
- PROTECTIVE FENCING AND/OR BARRIERS SHALL BE PROVIDED WHEN NECESSARY TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATION.
- SITE GRADING SHALL BE DONE TO A TOLERANCE OF 6 IN. FEET IN GENERAL SITE AREA. SITE PAVING AND LANDSCAPE AREAS SHALL BE DONE TO A TOLERANCE OF 0.25 FEET.
- CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS.
- CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE, AND FIRE DEPARTMENTS.
- THE MAJOR HAZARD PREPARED BY THE CONTRACTOR SHALL BE THE PRESENCE OF ALL EXISTING UTILITIES. ALL EXISTING UTILITIES, MEASURES SHOWN SHALL BE INCLUDED IN THE BASE BID FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL BARS. A COPY OF THE SURVEY SHALL BE LEFT ON SITE AT ALL TIMES DURING CONSTRUCTION. A NOTICE OF EJECT, (N.O.E.) SHALL BE FILED BY THE OWNER AND APPROVED BY THE STATE WATER RESOURCES CONTROL BOARD BEFORE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES THAT WILL RESULT IN DISTURBANCE OF ONE OR MORE OF THE FOLLOWING UTILITIES:
- ALL EXISTING UTILITIES ARE AS MEASURED IN THE FIELD UNLESS OTHERWISE NOTED.
- HOURS OF GRADING OPERATION SHALL BE FROM 7:00 A.M. TO 5:00 P.M. DAILY WITH EXCEPTION OF NO WORK ON SUNDAY. NO WORK OF ANY KIND, INCLUDING MOVEMENT OF EQUIPMENT ON OR OFF THE SITE OR VARIATION OF EQUIPMENT, IS PERMITTED OUTSIDE OF THESE HOURS OF OPERATION.
- ALL CUT AND FILL SLOPES AT THE BOUNDARY LINE SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. NO ADJACENT UTILITIES WILL BE EXPOSED OR DAMAGED DURING CONSTRUCTION OF THE PROJECT.
- UPON COMPLETION OF PAVING GRADING, THE CONTRACTOR SHALL REQUEST THAT THE CIVIL ENGINEER CHECK THE GRADES. ANY PAVES THAT DO NOT MEET THE SPECIFICATION SHALL BE REGRADED AT NO ADDITIONAL COST TO THE OWNER. ANY REQUIRED RECHECKS WILL BE BACK CHARGED TO THE CONTRACTOR.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE COMPLETE SATISFACTION OF THE LOCAL AGENCY'S ENGINEER AT THE CONTRACTOR'S EXPENSE.
- WHERE AN EXCAVATION FOR A TRENCH AND/OR STRUCTURE IS FIVE FEET DEEP OR MORE, THE CONTRACTOR SHALL CONFORM TO G.S.H.A. REQUIREMENTS AND SHALL PROVIDE A COPY OF THE APPROVED G.S.H.A. PERMIT AND SHOWING DETAILS AND CALCULATIONS PREPARED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER TO THE CITY ENGINEER.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF YUBA CITY TECHNICAL SPECIFICATIONS AND/OR THE 2018 CALTRANS STANDARD SPECIFICATION AND IN AND IN ALL REQUIREMENTS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL OBTAIN AND FILL ALL APPLICABLE ACCESSORIES. CONSTRUCTION LAYOUT SHALL CONFORM TO THE DIMENSIONS SHOWN ON THE SITE PLAN SHEET C03.
- UTILITY REDLOCATION REQUIRED FOR THE CONSTRUCTION OF THESE FACILITIES WILL BE PERFORMED BY THE UTILITY COMPANY, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR PURSUING, INSTALLING AND MAINTAINING ALL WARNING SIGNS AND DEVICES NECESSARY TO SAFEGUARD THE GENERAL PUBLIC AND THE WORK AND PROVIDE FOR THE PROPER AND SAFE ROUTING OF VEHICULAR AND PEDESTRIAN TRAFFIC DURING THE PERFORMANCE OF THE WORK.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL HAVE APPROVED PLANS IN HIS POSSESSION AND SHALL GIVE THE OWNER AND THE CITY OF GRIDLEY 48 HOURS NOTICE PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL CONSTRUCT ALL IMPROVEMENTS TO THE LINES AND GRADES SHOWN ON THE PLANS. ANY DEVIATION FROM THE PLANS SHALL REQUIRE THE APPROVAL OF THE OWNER AND THE CITY OF GRIDLEY.
- AN ENCROACHMENT PERMIT MUST BE OBTAINED FOR ALL WORK WITHIN THE STREET RIGHT-OF-WAY AND MUST BE IN THE POSSESSION OF THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTACT THE CITY OF GRIDLEY FOR PERMIT.
- NO SUBMITTALS OR REVIEWS AS TO THE EXISTING UTILITIES SHALL BE MAINTAINED OR THAT EXISTING UTILITIES MAY BE DAMAGED OR NOT BE MAINTAINED.
- ANY EXCESS MATERIALS SHALL BE CONSIDERED THE PROPERTY OF THE CONTRACTOR/OWNER AND SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- IF ANY HAZARDOUS WASTE IS ENCOUNTERED DURING THE CONSTRUCTION OF THIS PROJECT, ALL WORK SHALL BE IMMEDIATELY STOPPED AND THE SUTTER COUNTY ENVIRONMENTAL HEALTH DEPARTMENT, THE FIRE DEPARTMENT, THE POLICE DEPARTMENT AND THE CITY INSPECTOR SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL CLEARANCE HAS BEEN ISSUED BY ALL OF THESE AGENCIES.
- THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN TRAFFIC FLOW ON AFFECTED ROADWAYS DURING NON-WORKING HOURS, AND TO MINIMIZE TRAFFIC SAFETY HAZARDS BY MAINTAINING TRAFFIC FLOW. TRAFFIC SAFETY HAZARDS SHALL BE MAINTAINED FOR ALL CONSTRUCTION ACTIVITIES. THE CITY OF GRIDLEY EMERGENCY SERVICE PROVIDERS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS IN ADVANCE OF PROPOSED CONSTRUCTION SCHEDULED BY THE CONTRACTOR.
- SOIL SHALL NOT BE TREATED WITH ANY OR OTHERS CONTAMINANTS IN MATERIAL. WITHIN IT SHOULD EXPOSED REPRESENTED BY THE PUBLIC WORKS DEPARTMENT.
- ALL EXISTING WELLS, SEPTIC TANKS, AND SERVICE LINES SHALL BE DESTROYED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUTTER COUNTY ENVIRONMENTAL HEALTH AND FIRE DEPARTMENTS, RESPECTIVELY. CONNECTIONS SHALL BE MADE TO PUBLIC SEWER AND WATER. THE DEVELOPER SHALL PAY ALL APPLICABLE FEES.
- IF AN ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE SUTTER COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ANTHROPOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN ETHNIC GROUPS PHONIC NUMBER 486-3116 SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ANTHROPOLOGICAL INVENTORY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECORDED ANTHROPOLOGICAL MATERIALS. AN ANTHROPOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THIS PROJECT. THE SITE SHALL BE IMMEDIATELY RECLOSED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, J.C. BERNLEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECORDED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

CITY OF GRIDLEY PROJECT PLANS FOR CONSTRUCTION ON HILBERS PROPERTIES INC, SAVMOR - GRIDLEY, CA IN SUTTER COUNTY TO BE SUPPLEMENTED BY CALTRANS STANDARD PLANS DATED 2018



PREPARED BY: _____ DATE: _____

MMH INCORPORATED
JOHN MALLEN, PE
H.C.E.# 02313 EXP. 09-30-21

UTILITY REPRESENTATIVES			
UTILITY	AGENCY	CONTACT	PHONE NUMBER
FIRE PROTECTION			
GAS			
ELECTRICITY			
TELEPHONE			
CABLE TELEVISION			
WATER			
SEWER			
STORM DRAINAGE			



SCOTT GIBSON ARCHITECT, INC.
574 MANZANITA AVE., SUITE #9
CHICO, CALIFORNIA 95926
PHONE: (530) 343-7557

REVISIONS	
REV DATE	REV DATE

\$SAV-MOR \$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

MMH
1204 E STREET
MARYSVILLE, CA 95901
(530) 755-6885



TITLE SHEET

DATE: 02/05/2021
JOB NO. 20.031

C01



UNDERGROUND SERVICE ALERT
THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES TWO (2) WORKING DAYS PRIOR TO GRADING OR DIGGING.

REVISIONS

REV. DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE

\$SAV-MOR \$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

M.H.M.
MAYNARD STREET
MAYNARD, CA 94907
(530) 742-8485

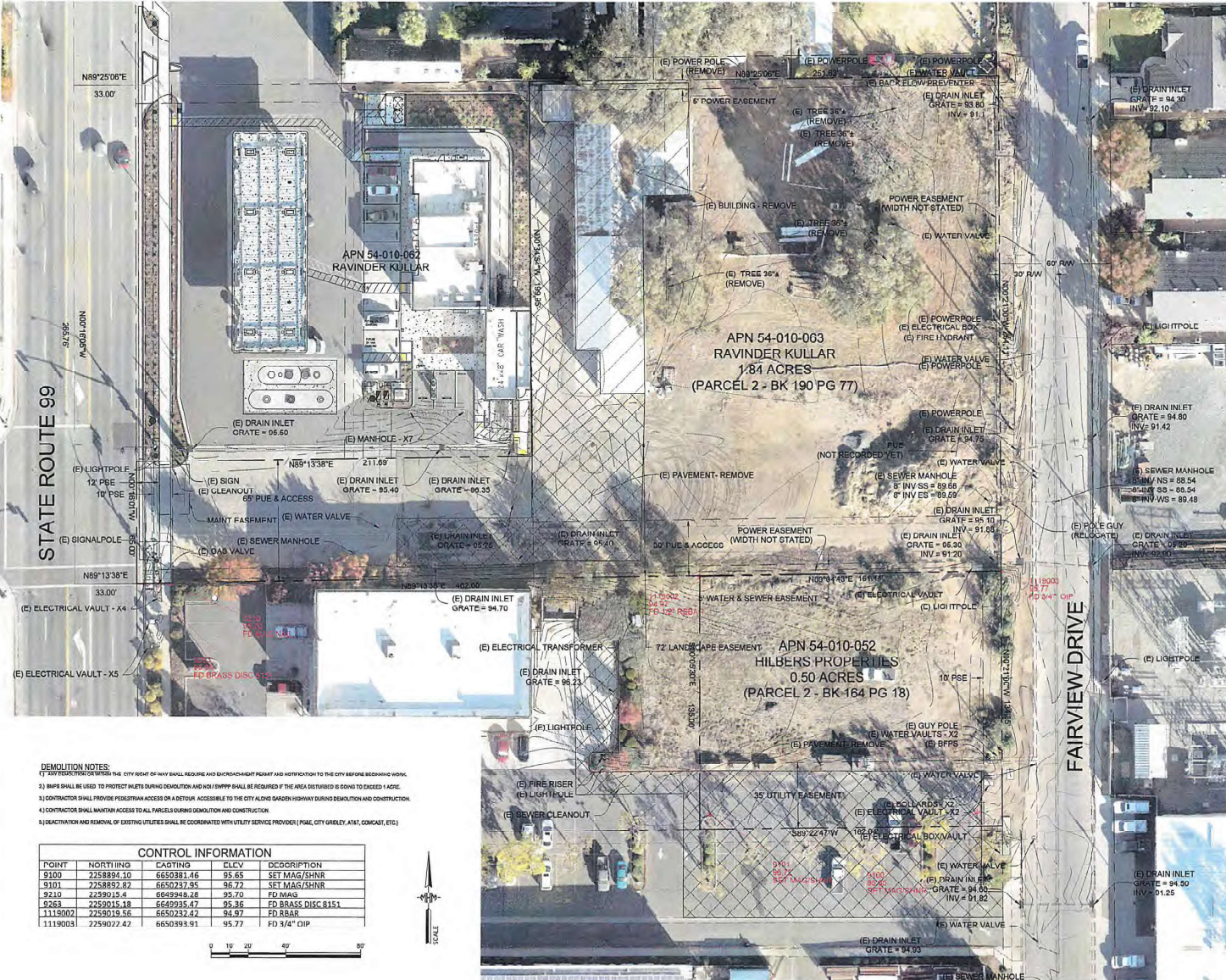


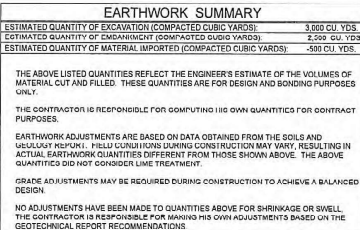
**SURVEY & DEMOLITION
SHEET**

DATE: 02/05/2021

JOB NO. 20.031

C02





C03

[illegible]

SYMBOLS LIST

SYMBOL	DESCRIPTION
	LIGHTING FIXTURE, SURFACE OR DOWNWARD MOUNTED IN CEILING
	LIGHTING FIXTURE, RECESSED MOUNTED IN CEILING
	LIGHTING FIXTURE, SURFACE MOUNTED ON WALL
	LIGHTING FIXTURE, RECESSED, T-BAR LAY-IN OR RECESSED IN CEILING
	LIGHTING FIXTURE, SURFACE MOUNTED ON CEILING
	STRIP LIGHTING FIXTURE, SURFACE OR DOWNWARD IN CEILING
	EXIT LIGHT FIXTURE, MARKED WITH ARROWS AS SHOWN
	EMERGENCY LIGHT
	LIGHT FIXTURE, MOUNTED ON POLE WITH SINGLE/MULTIPLE HEADS
	LIGHT FIXTURE, MOUNTED ON POLE (FOOT-TOP HEAD)
	FIXTURE BAY "A" - DENOTES FIXTURE TYPE, SEE LIGHTING FIXTURE SCHEDULE
	SINGLE POLE TOGGLE SWITCH, 240-120/277 AT +40° MAX (TOP OF BOX)
	THREE WAY TOGGLE SWITCH, 240-120/277 AT +40° MAX (TOP OF BOX)
	SUBMERGE INTERRUPTER OUTLET OR FIXTURE CONTROLLED AT +45° MAX (TOP OF BOX)
	SWITCHING DEVICE, 240-120/277 AT +45° MAX (TOP OF BOX)
	VACUUM SUCTON - 20° DESICCATION 240-120/277 AT +40° MAX (TOP OF BOX)
	SINGLE AUTOMATIC SMOKE SWITCH MARK, MOUNTED AT +45° MAX (TOP OF BOX)
	LIGHT FIXTURE, 20° DESICCATION, 240-120/277 AT +40° MAX (TOP OF BOX)
	AUTOMATIC SPRINKLER SWITCH CONTROL, PHOTOCELL, NIGHT PHOTOCELL (R.O.R.) OR EQUAL, DUAL, TWO-ELEMENT OPTICAL OCCUPANCY SENSOR, NIGHT OCCUPANCY (R.O.R.) OR EQUAL
	SPRINKLER/RELAY, 16A, 120/277V, WITH 0-10VDC SPRINKLER, AQUATIC APPF1600
	PLUG AND RELAY PACK, 16A, 120/277V, AQUATIC APPF200L
	POURABLE RESEALABLE OUTLET, 240-120V, +15° MIN (BOTTOM OF BOX)
	DUPLEX RESEALABLE OUTLET, 240-120V, +15° MIN (BOTTOM OF BOX)
	PAINT OUTLET ABOVE GASKET OR EPOXYSEAL
	DUPLEX RESEALABLE OUTLET, 240-120V, CEILING MOUNTED
	200V 3 PH RESEALABLE OUTLET
	200V 1 PH RESEALABLE OUTLET
	DUPLEX RESEALABLE FLOOR OUTLET, 240-120V PLENUM FLOOR WITH BRASS HXN
	DUPLEX RESEALABLE OUTLET, 240-120V, +15° MIN (BOTTOM OF BOX), LOCATED DOWNSTREAM
	DUPLEX/COMPUTER OUTLET, MAIL/PLENUM FLOOR, 3/4-1/2" TO ABOVE ACCESSIBLE GLB
	DATA/TV OUTLET, MAIL/PLENUM FLOOR, 3/4-1/2" TO ABOVE ACCESSIBLE GLB
	MAIN SWITCHBOARD
	TERMINAL OR DISTRIBUTION PANEL
	TERMINAL CABINET
	JUNCTION BOX
	PULL BOX
	MOTOR STARTER, SEE NFPA CONNECT AS REQUIRED
	HEAVY DUTY SAFETY TYPE DISCONNECT SWITCH, SIZE & NEMA TYPE AS REQUIRED, FUSED
	MOTOR - NFPA
	EXHAUST FAN - NFPA
	FIBERGLASS REINFORCED P. 7, 740 - NFPA
	FLAG NOTE SHOWN ON S&E SHEET
	CIRCUIT CONCEALED IN CEILING OR WALL
	CIRCUIT CONCEALED IN PLENUM OR UNDERLAYMENT
	LOW VOLTAGE CABLE
	RISE/TER TO PANELBOARD OR TERMINAL CABINET
	SEGMENTS 0 OR #12 HIRS, 0 HIRS = 2 #12, 1/2", CURVED HATCH DENOTES BALLYWOOD MATERIAL, NOT SHOWN ISOLATED ANOTHER, OTHERS AS NOTED
	TERMINAL, NORMAL, 30" X 48" X 3/4", PLYWOOD BACKBOARD WITH FOURTEEN RESEALABLE (1 1/2" X 6" X 1/2") SEAL

NOTES:
 SYMBOLS INDICATED ABOVE MAY NOT NECESSARILY APPLY AS PART OF THESE DRAWINGS IF NOT REQUIRED

ABBREVIATIONS

ATF	ABOVE FINISHED FLOOR
C	CIRCUIT
CLB	CEILING
(E)	EXISTING
BN	CONNECTED EXISTING PLANS. PROVIDE WITH 90-MINUTE BATTERY BACK-UP BALAST. SEE LIGHTING PLANS FOR LOCATIONS AND QUANTITIES.
GRF1	GROUND FAULT CIRCUIT INTERRUPT
IG	ISOLATED GROUND
HP15	SEE MECHANICAL PLANS & SPECIFICATIONS
MT	EMPTY CONDUIT WITH NYLON PULL ROPE
(N)	NEW
N125	NOT IN ELECTRICAL SECTION OF THESE PLANS & SPECIFICATIONS
NL	NIGHT LIGHT - FIXTURE TO BE UNLIGHTED
FTB	PROVISION FOR FUTURE BREAKER
PRL	PANELBOARD
T1B	TELEPHONE TERMINAL BOARD
(R)	TYPICAL
UG	UNDERGROUND
UON	UNLESS OTHERWISE NOTED

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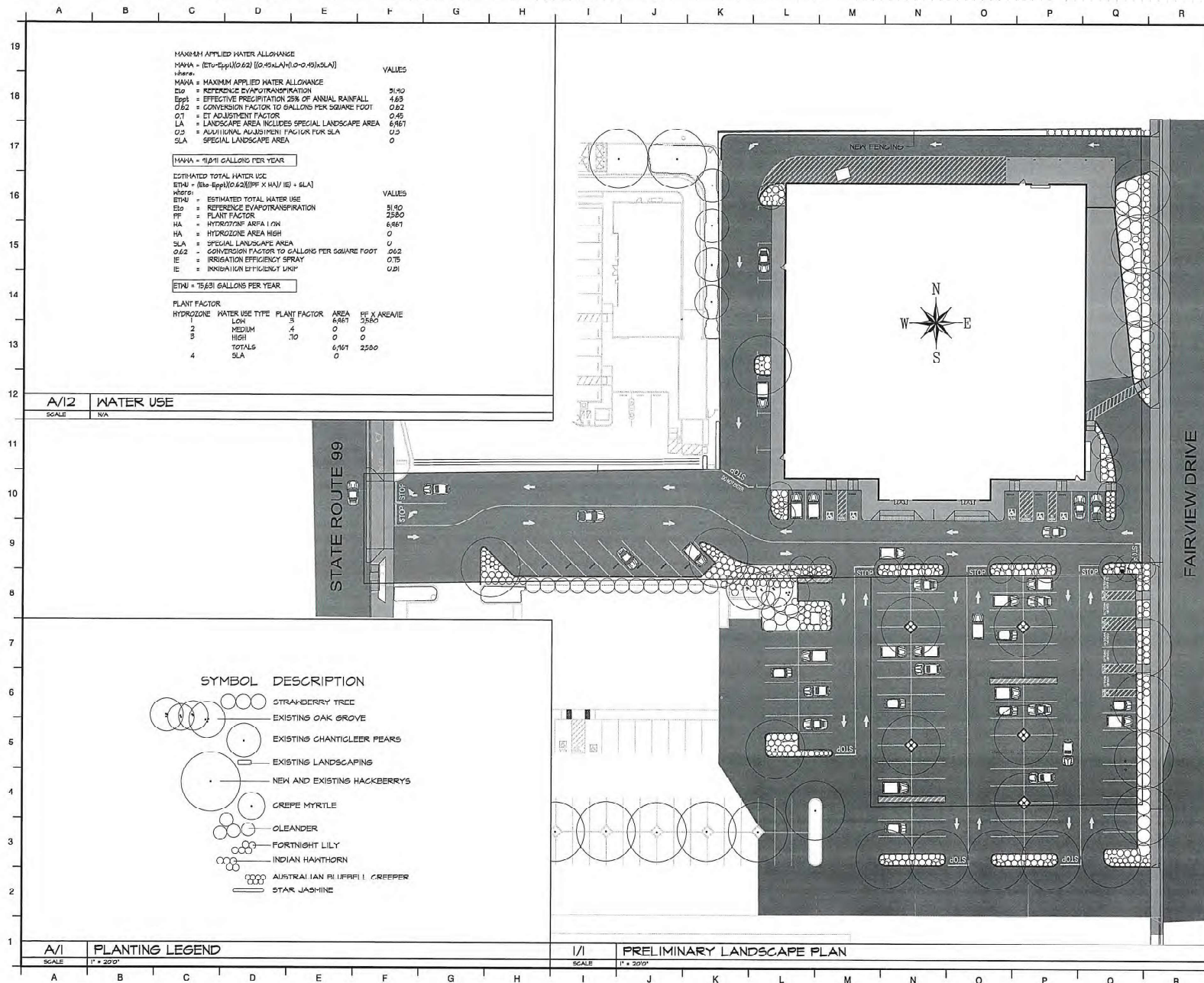
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\$SAV.MOR\$
PROPOSED BUILDING
GRIDLEY, CALIFORNIA

SYMBOLS LIST, GENERAL NOTES,
FIXTURE SCHEDULE

DATE: 03/25/202

E1.0



MAXIMUM APPLIED WATER ALLOWANCE
 $MAYA = (Eto - Epp) / (0.62) [(0.45)A] / (0.45)SLA$
 where:
 MAYA = MAXIMUM APPLIED WATER ALLOWANCE
 Eto = REFERENCE EVAPOTRANSPIRATION
 Epp = EFFECTIVE PRECIPITATION 25% OF ANNUAL RAINFALL
 0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT
 0.45 = ET ADJUSTMENT FACTOR
 LA = LANDSCAPE AREA INCLUDES SPECIAL LANDSCAPE AREA
 0.45 = ADJUSTMENT FACTOR FOR SLA
 SLA = SPECIAL LANDSCAPE AREA

VALUES

MAYA = 9.671 GALLONS PER YEAR

ESTIMATED TOTAL WATER USE

$ETWU = (Eto - Epp) / (0.62) [(PF \times HA) / (IE) + SLA]$

where:

ETWU = ESTIMATED TOTAL WATER USE

Eto = REFERENCE EVAPOTRANSPIRATION

PF = PLANT FACTOR

HA = HYDROZONE AREA HIGH

HA = HYDROZONE AREA HIGH

SLA = SPECIAL LANDSCAPE AREA

0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT

IE = IRRIGATION EFFICIENCY SPRAY

IE = IRRIGATION EFFICIENCY SPRAY

ETWU = 75,631 GALLONS PER YEAR

PLANT FACTOR

HYDROZONE WATER USE TYPE PLANT FACTOR AREA FE X AREA

LOW 0 0 2580

MEDIUM .4 0 0

HIGH .10 0 0

TOTALS 4 6,967 2580

SLA 0 0

A/12 WATER USE
 SCALE N/A

SYMBOL DESCRIPTION

- STRAWBERRY TREE
- EXISTING OAK GROVE
- EXISTING CHANTICLEER PEARS
- EXISTING LANDSCAPING
- NEW AND EXISTING HACKBERRYS
- CREPE MYRTLE
- OLEANDER
- FORTNIGHT LILY
- INDIAN HANTHORN
- AUSTRALIAN RHODOPHYLLON CREEPER
- STAR JASMINE

A/1 PLANTING LEGEND
 SCALE 1" = 20'0"

I/1 PRELIMINARY LANDSCAPE PLAN
 SCALE 1" = 20'0"

REVISIONS	DATE

All drawings and written material appearing herein constitute the original and unpublished work of the Landscape Architect and the same may not be duplicated, used, or disclosed without the written consent of the Landscape Architect.

ALPINE LANDSCAPE INC.
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 Construction License #35933

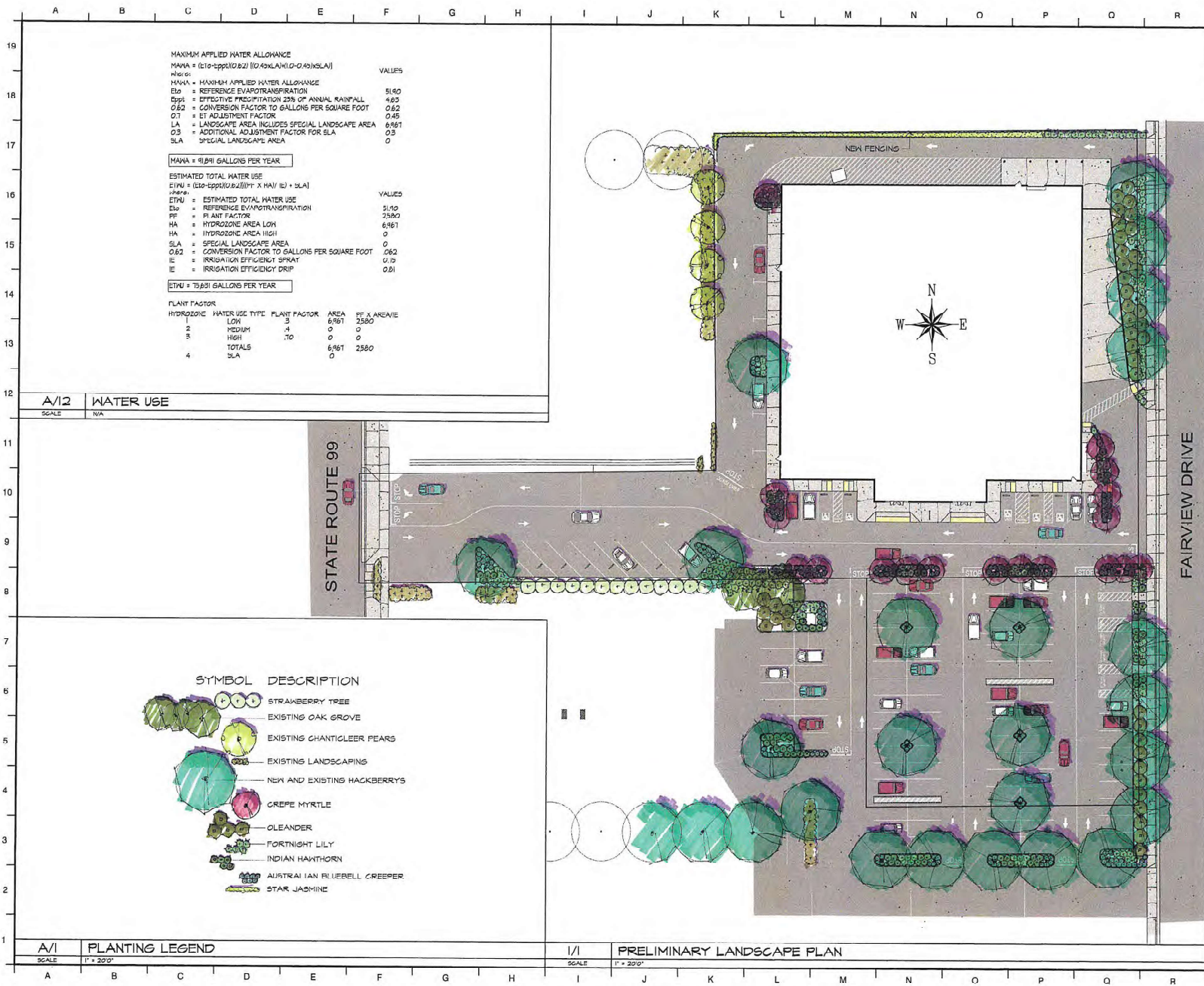
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PRELIMINARY LANDSCAPE PLAN



DATE NOTED
 1/24/21
 L of 1



MAXIMUM APPLIED WATER ALLOWANCE

MAWA = (ETP - 5pph) / 0.62 (10.49xLA) (1.0 - 0.45xSLA)	VALUES
MAWA = MAXIMUM APPLIED WATER ALLOWANCE	
ETP = REFERENCE EVAPOTRANSPIRATION	51.90
5pph = EFFECTIVE PRECIPITATION 25% OF ANNUAL RAINFALL	4.63
0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT	0.62
ET = ET ADJUSTMENT FACTOR	0.45
LA = LANDSCAPE AREA INCLUDES SPECIAL LANDSCAPE AREA	6161
0.3 = ADDITIONAL ADJUSTMENT FACTOR FOR SLA	0.3
SPECIAL LANDSCAPE AREA	0

MAWA = 61.61 GALLONS PER YEAR

ESTIMATED TOTAL WATER USE

ETWU = (51.90 - 5pph) / 0.62 (ETP - X HAI) (1.0 - 0.45xSLA)	VALUES
ETWU = ESTIMATED TOTAL WATER USE	
ETP = REFERENCE EVAPOTRANSPIRATION	51.90
5pph = PLANT FACTOR	25.80
HA = HYDROZONE AREA LOW	6161
SLA = HYDROZONE AREA HIGH	0
SLA = SPECIAL LANDSCAPE AREA	0
0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT	0.62
ET = IRRIGATION EFFICIENT SPRINKLER	0.10
ET = IRRIGATION EFFICIENT DRIP	0.81

ETWU = 75.821 GALLONS PER YEAR

PLANT FACTOR

HYDROZONE	WATER USE TYPE	PLANT FACTOR	AREA	ET X AREA
1	LOW	3	6161	2580
2	MEDIUM	4	0	0
3	HIGH	70	0	0
4	TOTALS		6161	2580
	SLA		0	2580

A/12 WATER USE
SCALE: N/A

A/1 PLANTING LEGEND
SCALE: 1" = 20' 0"

SYMBOL DESCRIPTION

	STRAWBERRY TREE
	EXISTING OAK GROVE
	EXISTING CHANTICLEER PEARS
	EXISTING LANDSCAPING
	NEW AND EXISTING HACKBERRIES
	CREPE MYRTLE
	OLEANDER
	FORTNIGHT LILY
	INDIAN HAWTHORN
	AUSTRALIAN RIVERELL CREEPER
	STAR JASMINE

I/1 PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20' 0"

REVISIONS	DATE

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GRIDLEY, CA

PRELIMINARY LANDSCAPE PLAN



DESIGNED BY	NOTED
MDH	1/24/21
L of 1	