

# Gridley Planning Commission – Regular Meeting Agenda

Wednesday, October 16, 2024; 6:00 pm  
Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

*“Our purpose is to continuously enhance our community’s vitality and overall quality of life. We are committed to providing high quality, cost-effective municipal services and forming productive partnerships with our residents and regional organizations. We collectively develop, share, and are guided by a clear vision, values, and meaningful objectives.”*

---

The Public is encouraged to attend and participate in person. Comments from the public on agenda items will be accepted until 4 pm on October 15<sup>th</sup>, 2024, via email to [csantana@gridley.ca.us](mailto:csantana@gridley.ca.us) or via the payment/document drop box at Gridley City Hall and will be conveyed to the Commission for consideration.

You may view using the following link, ID, and passcode:

<https://us06web.zoom.us/j/83000106481?pwd=pBLWYeluaMGCDQTSZUYTsL8ErLcPbt.1>

Webinar ID: 830 0010 6481

Passcode: 640471

---

**CALL TO ORDER** – Chair Espino

## **ROLL CALL**

**COMMUNITY PARTICIPATION FORUM** - Members of the public may address the Planning Commission on matters not listed on the agenda. The Planning Commission may not discuss nor act on any community participation item brought forward by a member of the community. Comments are requested to be limited to three (3) minutes.

## **CONSENT AGENDA**

1. Planning Commission Meetings Dated August 21<sup>st</sup>, 2024

## **PUBLIC HEARING**

2. **Edler Estates Tentative Subdivision Map 1-22 Extension**

Application to extend the Tentative Subdivision Map (TSM) 1-22 for an additional 2 years. The approved Tentative Subdivision Map proposes to subdivide an existing 8.49-acres into forty-six (46) parcels. The Subject site has a General Plan land use of Residential and is zoned Single Family Residential (R-1) for a proposed density of 5.41 du/ac located on the west side of Randolph Street. (APN 010-270-016)

*Recommended Action(s):*

- a. approve the extension of TSM 1-22 for an additional 2 years in accordance with Govt. Code 66452.6(a)(1) and (e)-

### 3. Reinstatement of SDP 1-22

Site Development Plan Review No. 1-22 for the development of a mixed-use commercial site consisting of a 5,200 square-foot convenience market with auto fuel pumps, a 4-pump fuel canopy for tractor/trucks/semis, a 1,344 square-foot carwash, and an 824 square-foot coffee kiosk with 2-drive-thru lanes located in the Commercial general Plan land use designation and zoned as General Commercial (C-2) at 1225 Hwy 99. (APN 021-270-043 & -044)

*Recommended Action(s):*

- a. approve the reinstatement of SDP 1-22 for an additional 2 years

### CITY STAFF AND COMMISSION INFORMATIONAL UPDATES

**ADJOURNMENT** – Adjourning to the next regularly scheduled meeting on November 20<sup>th</sup>, 2024. This agenda was posted on the public bulletin board at City Hall at or before 6:00 p.m. on October 13<sup>th</sup>, 2024. This agenda along with all attachments, if any, is available for public viewing online at [www.gridley.ca.us](http://www.gridley.ca.us) and/or at the Administration Counter in City Hall, 685 Kentucky Street, Gridley, CA. This is a public meeting, and anyone may address the Planning Commission. Any documents that were provided to the Planning Commission after the Agenda packet was distributed are also available for public review during normal business hours.

Meeting facilities are accessible to persons with disabilities. By request, alternative agenda document formats are available to persons with disabilities. To arrange an alternative agenda document format or to arrange aid or services to modify or accommodate persons with a disability to participate in a public meeting, contact the City Clerk by calling 846-3631 (voice). This request should be received at least three working days prior to the meeting to accommodate your request.

# Gridley Planning Commission – Regular Meeting Minutes

Wednesday, August 21, 2024; 6:00 pm  
Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

*“Our purpose is to continuously enhance our community’s vitality and overall quality of life. We are committed to providing high quality, cost-effective municipal services and forming productive partnerships with our residents and regional organizations. We collectively develop, share, and are guided by a clear vision, values, and meaningful objectives.”*

## CALL TO ORDER

Chair Espino called the meeting to order at 6:00 pm.

## ROLL CALL

Present: Espino, Jamison, Wolfe, Adams  
Absent: Holland  
Arriving after roll call: None

Staff Present: Donna Decker, Planning Consultant

## COMMUNITY PARTICIPATION FORUM

The forum was opened, and seeing no one was available to speak, was closed.

## CONSENT AGENDA

1. Planning Commission Meetings Dated June 19<sup>th</sup> and July 17<sup>th</sup>, 2024

## ROLL CALL

Motion: Adams  
Second: Jamison  
Action: to approve the consent agenda as presented.

Ayes: Espino, Wolfe, Adams, Jamison

Noes: None

Absent: Holland

Abstain: None

Motion passed, 4-0

## PUBLIC HEARING

2. **VAR 1-24;** Application for a variance from the development standards to allow a decrease of the side yard setback from 4 feet (Gov. Code, § 65852.2, subd. (a)(1)(D)(vii)) to 1 foot for

an existing accessible structure converted from a garage to an accessory dwelling unit. The subject site is 6,534 square feet with a General Plan land use designation of Residential and a zoning designation Single-Family Residential District(R-1) located at 440 Nevada Street. (APN 010-012-007)

Planner Donna Decker presented the variance application that would allow for the conversion of an existing garage into a livable space at 440 Nevada St. Planner Decker explained she received an anonymous comment raising concerns of the limited on-street parking in that area and Planner Decker further explained that the current Government Code does not require the creation of extra parking spaces for ADUs.

Commissioner Adams stated due to the minimal set back, he would like to add the condition to keep the rain runoff on the property and ensure it does not fall onto the neighbor's yard.

### **ROLL CALL**

Motion: Adams

Second: Wolfe

Action: to approve the recommendations as follows: determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15305 (a), Class 5, Minor Alterations in Land Use Limitations; and make the required variance findings as described within Exhibit A; and approve Variance No. 1-24 with Conditions of Approval as shown in Exhibit B with the addition to require the homeowner at 440 Nevada St make adjustments as needed to keep the rainfall on their property.

Ayes: Espino, Wolfe, Adams, Jamison

Noes: None

Absent: Holland

Abstain: None

Motion passed, 4-0

### **CITY STAFF AND COMMISSION INFORMATIONAL UPDATES**

### **ADJOURNMENT**

With no other items left to discuss, Chair Espino adjourned to the next regular meeting of October 16, 2024.

---

Donna Decker, Gridley Planner



**Planning Commission Item #2**  
Staff Report

**Date:** October 16, 2024  
**To:** Chair, Planning Commissioners  
**From:** Donna Decker, Planning Department

<b>X</b>	Regular
	Special
	Closed
	Emergency

**Subject:** **Edler Estates Tentative Subdivision Map 1-22 Extension;** Application to extend the Tentative Subdivision Map (TSM) 1-22 for an additional 2 years. The approved Tentative Subdivision Map proposes to subdivide an existing 8.49-acres into forty-six (46) parcels. The Subject site has a General Plan land use of Residential and is zoned Single Family Residential (R-1) for a proposed density of 5.41 du/ac located on the west side of Randolph Street. (APN 010-270-016)

---

**Recommendation**

City staff respectfully recommends the Planning Commission approve the extension of TSM 1-22 for an additional 2 years in accordance with Govt. Code 66452.6(a)(1) and (e).

**Summary**

The applicant submitted a request to extend the approve TSM 1-22 for an additional 2 years. The project received approval from the City Council on September 6, 2022 for a CEQA IS/MND per 2022-R-031, TSM 1-22 per 2022-R-032, and Rezone per Ord. No. 840-2022; the 2<sup>nd</sup> reading held on October 3, 2022. No revisions to the project are proposed.

**Project Description**

The applicant was approved for a tentative subdivision map to develop 8.49-acres into a forty-six-lot single-family residential subdivision. The site had been previously approved for a tentative subdivision map which expired. The proposed map has increased the number of lots to meet the tremendous need for additional housing both locally and regionally due to catastrophic loss from the Camp Fire and other fires experienced in Butte County and northern California.

The project was reviewed by the Planning Commission at its July 20, 2022 public hearing and presented to the City Council for consideration on September 6, 2022 and again for the ordinance 2<sup>nd</sup> reading on October 3, 2022.

**Discussion**

Location and site characteristics

The subject site is located on the west terminus of Laurel Street, west of the intersection of Laurel Street and Randolph Avenue. The property is bounded by the vacant Gridley Unified School District lands on the east, RD 833 Canal and agricultural uses to the south, agricultural uses to the west and north; northeast of the subject site is the Butte View subdivision.



**Figure 1: Project Location**

The site is fairly flat having slopes of 1-2% generally across the site. The soils on the site are fairly equally divided as Live Oak Sandy Loam on the northerly one-half of the site and Gridley Taxadjunct on the southerly one-half of the site. The soils are classified as Prime Farmland if Irrigated and Farmland of Statewide Importance, respectively. Although, the development of the site will create a loss of Prime Farmland and Farmland of Statewide Importance, the city adopted its 2030 General Plan with a Statement of Overriding Consideration acknowledging that in order to support the growth of the city, lands having this soil classification will be lost- there is no mitigation available to lessen the impact. Furthermore, the site has had an approved subdivision map which expired October 16, 2020.

**Project Description**

The applicant proposes to subdivide the 8.49 acres into a 46-lot subdivision for single-family detached residences. The development has created lots ranging from 4,850 square feet to 7,120 square feet. The average lot size is 5,800 square feet overall. To facilitate the development to move forward, the applicant has applied to and received approval to:

- Amend the General Plan of the City of Gridley to reflect the proposed land use density;
- Rezone the property to be consistent with the City of Gridley General Plan land

- use designations; and,
- Provided a Tentative Subdivision Map to create 46 single-family lots.

### General Plan

The General Plan amendment would provide a land use designation reflecting the land use density of 5.41 du/ac for the development. The existing General Plan designation is Residential, Very Low Density. This designation allows a density of 1-2 units per acre; therefore, the maximum number of units would be 17 units. These would be very large lots and challenging to develop with the increases in construction costs currently experienced by builders today. The proposed General Plan amendment would amend the General Plan to Residential, Medium Density to allow up to 8 units per acre. The proposed General Plan Amendment will provide consistency with the zoning since a greater density is allowed by the Single-Family R-1 zoning district.

### Rezone

The zoning designation would be changed from Residential Suburban to Single-Family Residential zoning district (R-1). The single-family residential district has four (4) designations:

1. R-1A Parcels sized from 1,700 – 3,500 square feet
2. R-1B Parcels sized from 3,501 – 5,999 square feet
3. R1-C Parcels sized from 6,000 – 7,499 square feet
4. R-1 Parcels sized from 7,500 and greater

The tentative subdivision map will create 46 lots for new single-family residential units. The frontage of the lots is generally a minimum of 50-53 feet in with some variation on corner lots. The lot sizes of the proposed zoning designation will support standard setbacks and housing sizes from small single-story (1,500 square feet) to larger two-story homes (2,500 square feet). Staff supports the rezoning of the property.

### Tentative Subdivision Map

In 2005, the applicant had a map approved for a 32-lot subdivision. The applicant and engineer met with staff to discuss changes to the approved map providing smaller lots and a mixture of lot sizes to accommodate varying home sizes for the community. The proposal would serve as an opportunity for the development to provide housing for varying income levels, home types for single people, family without children, and families, as well as “empty nesters”, i.e., families who have raised their children and looking for a smaller home.

In addition to creating an opportunity for a vibrant, diverse neighborhood, the city is also conscious of our obligation to provide land area to support the Regional Housing Needs Allocation (RHNA). This is a figure that is determined by the State and refined as to the number allotted to the city from the Butte County Association of Governments (BCAG). The city is responsible for the provision of land area that can be developed into housing.

The proposed map provides an additional 14 parcels from the Housing Element analysis. The Housing Element Policy HP-2.4 also supports this development:

*“The City will encourage infill development in meeting the housing needs required by expanding populations.”*

The city encourages an increase in units for subdivisions, in that, it will provide additional housing stock for both local and regional needs due to the losses suffered by the Camp Fire and Bear Fire of 2018 as well as others lost since those events due to fires each year in northern California.

#### Utilities

The city can provide utilities to the development. The city recently underwent a process to replace existing underground improvements from Randolph Ave to Butte View Drive. The enlargement of the pipes will provide service to Edler Estates. The city can provide power, water, sanitary sewer and storm drainage. The site storm water will be collected in an underground storm drain system and piped into a detention basin which will then discharge into the RD 833 canal.

#### Circulation

Access to the development will be from Laurel Street. The 2005 traffic analysis indicated that there were no significant impacts; the addition of 16 additional lots will not likely have a significant impact. The undeveloped property to the west and northwest have had subdivision maps approved and subsequently expired. When those subdivisions do become approved, the city had ensured that the street layout will connect to Edler Estates and have full circulation from Randolph Ave to Sycamore Avenue.

#### Drainage

The site storm water will be collected in an underground storm drain system and piped to a detention basin where it will be retained until discharge to RD 833's canal. The applicant has requested to create a detention basin on the property to the west of the subject site. The property is owned by the Banes family and has had a previous tentative subdivision map which expired. The applicant, James Ratliff, will enter into an agreement with the Banes family to share a detention basin for both projects; there is adequate area for planning the future subdivision to meet the requirement for it and Edler Estates. This basin will detain storm water and discharge to the RD 833 canal at the south property line.

#### **Public Notice**

A notice was posted in the Gridley Herald 10 days in advance of the October 16, 2024 Planning Commission meeting, posted at City Hall, and mailed 300 feet from the boundary of the property, made available at the Administration public counter, and placed on the City website for review.

#### **Environmental Review**

The proposed project required a Mitigated Negative Declaration. No additional environmental analysis is required for an extension of time.

**Attachments**

1. Resolution No. 2022-R-032      Tentative Subdivision Map (TSM) 1-22

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

**A RESOLUTION OF THE GRIDLEY CITY COUNCIL APPROVING TENTATIVE SUBDIVISION MAP  
NO. 1-22 TO SUBDIVIDE ONE PARCEL CONSISTING OF APPROXIMATELY  
8.49 ACRES INTO FORTY-SIX (46) PARCELS  
(APN: 010-270-076)**

**WHEREAS**, the City of Gridley has received an application to consider a Tentative Subdivision Map request to subdivide an approximately 8.49-acre parcel to create forty-six (46) lots for single-family residential use on property located west of Randolph Avenue in the manner illustrated on a tentative parcel map received by the City (Exhibit "A" attached); and,

**WHEREAS**, the subject property consists of one parcel designated as Assessor's Parcel Number 010-270-076 and the proposed Tentative Subdivision Map has been assigned the file number Tentative Subdivision Map No. 1-22 (TSM 1-22); and,

**WHEREAS**, the Planning Commission considered Tentative Subdivision Map No. 1-22 at a noticed regular public hearing on July 20, 2022, considered the staff report regarding the proposed tentative map design and required public improvements, and recommended the City Council approve the Tentative Map 1-22; and,

**WHEREAS**, the General Plan designation is Residential, Medium Density in accordance with 2022-R-031; and,

**WHEREAS**, the proposed zoning designation for the subject parcel is R-1 Single Family Residential District in accordance with Ordinance No. 840-2022; and,

**WHEREAS**, the City Council finds that Tentative Subdivision Map No. 1-22, including the proposed use and improvements to the property, is consistent with Gridley's General Plan including the policies contained therein as well as the land use diagram, and also finds that based on the conditions of approval, the site is physically suitable for development as proposed; and,

**WHEREAS**, the City Council determined that the described tentative map and its design and improvements are consistent with Gridley's General Plan and Zoning Ordinance of the Gridley Municipal Code, Chapter 17, regulations and policies regarding the use and division of land; and,

**WHEREAS**, the City Council, having further considered the Initial Study prepared for the project in order to adopt a Mitigated Negative Declaration; and,

**WHEREAS**, the City Council finds that this tentative subdivision map complies with all State and City regulations governing the division of land, and that division and development of the property in the manner set forth on the tentative parcel map as shown on Exhibit A will not unreasonably interfere with the free and complete use of existing public and/or public utility easements or rights-of-way.

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRIDLEY,  
AS FOLLOWS:**

**SECTION 1: FINDINGS FOR APPROVAL OF THE TENTATIVE SUBDIVISION MAP**

1. That the proposed project is consistent with the City of Gridley General Plan and does not exceed density and intensity standards within the Land Use Element, as amended.

*The Residential, Medium Density residential standards of the City's General Plan establish a maximum density of eight units per acre. The proposed project has a gross density of approximately 5.4 dwelling units per acre of residentially developed land.*

2. That the site is physically suitable for the type of development proposed.

*The proposed residential use is consistent with adjacent residential uses. No hazards exist on the site which would make the property inappropriate for people or residential uses.*

3. That the site is physically suited for the density of development.

*The proposed R-1, Single-Family Residential zoning district allows for the development of single-family residential dwelling units. The proposed Tentative Subdivision Map has a proposed density of 5.4 dwelling units per gross acre which conforms to the requirements of the R-1 zone district and the Residential, Medium Density General Plan land use designation. The project site has slopes of less than 2%, it is not within a 100-year flood plain and can accommodate drainage facilities necessary for the proposed density, it has adequate access to public roads which have the capacity to serve the development.*

4. That the designs of the subdivision or the proposed improvements are not likely to cause serious public health problems.

*As conditioned, the project will provide adequate sanitary sewer, a public water supply, storm drainage facilities, and roadway and construction conditions and mitigation measures. Standard subdivision improvements will include fire hydrants, streetlights and roadways designed for residential traffic.*

5. The design of the project will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed project.

*The project will not impact or conflict with any easements or land acquired by the public.*

6. The Tentative Subdivision Map conforms to the provisions of the Subdivision Map Act and to the provisions of Gridley Municipal Code Title 16 - Subdivisions (GMC Section 16.15).

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

*The tentative subdivision map complies with the required form and content of tentative subdivision maps, as set forth by the city and based upon the provisions of Title 16 of the Gridley Municipal Code.*

7. The tentative parcel map is consistent with good planning and engineering practice (GMC Section 16.15).

*The City Engineer has reviewed the tentative subdivision map, and has attached conditions that have been incorporated within the Conditions of Approval. All lots comply with the requirements in the City of Gridley Land Division Standards and Improvement Standards.*

8. The project will not be harmful to the public health and safety or the general welfare of the persons residing or working in the area.

*The project applicant proposes to develop the lots for residential uses. This type of development is not considered potentially harmful to the public health and safety or to the general welfare of persons residing in the vicinity.*

9. The project will not result in substantial environmental damage.

*The tentative subdivision map would not result in substantial damage to the environment. Development proposed under the subdivision map would be consistent with the type of development in the vicinity, and would not substantially damage the physical environment of the area. The site is located within the Sphere of Influence, within the city boundary, and has been previously evaluated and approved for development.*



**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

**SECTION 2: THE CITY COUNCIL OF THE CITY OF GRIDLEY:**

Approves Tentative Subdivision Map 1-22 as described subject to the following conditions of approval:

1. The applicant/property owner shall file a Declaration of Acceptance of the Conditions of Approval within 30 days of approval for the Tentative Subdivision Map 1-22.
2. The Tentative Subdivision Map 1-22 shall expire after a two (2) year period. An extension to the approval for up to five years may be approved; an application would need to be filed 30 days in advance of the expiration of the map.
3. Use of the 8.49-acre project site is subject to all zoning regulations described in Gridley Municipal Code as applicable to "R-1 Single Family" residential zoning districts, the General Plan requirements, and all applicable requirements of the Gridley Municipal Code.
4. Physical development of the site shall conform to the design approved for Tentative Subdivision Map No. 1-22 and to all of the conditions of approval of that Tentative Subdivision Map.
5. The project shall be required to pay all applicable impact fees for the development of the project.
6. Minor changes may be approved by the Planning Director upon receipt of a substantiated request by the applicant, or their respected designee. Prior to such approval, verification shall be made by each Department that the modification is consistent with the approved application. Changes deemed to be major or significant in nature shall require a formal application for amendment.
7. In the event of the discovery or recognition of prehistoric or historic resources in the area subject to development activity, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie similar resources and a professional archaeologist shall be consulted. Further, if human remains are discovered, the coroner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required. If the County Coroner determines the remains to be Native American, the coroner shall contact the Native American heritage Commission within 24 hours.

Upon completion of the site examination, the archeologist shall submit a report to the City describing the significance of the finds and make recommendations as to its disposition. If human remains are unearthed during construction, the provisions of California Health and Safety Code Section 7050.5 shall apply. Under this section, no

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

further disturbance of the remains shall occur until the County Coroner has made the necessary findings as to origin and disposition, pursuant to California Public Resources Code Section 5097.98. Mitigation measures, as recommended by the archaeologist and approved by the City, shall be implemented prior to recommencement of construction activity within the 50-foot perimeter.

8. The project will implement all recommended mitigation measures identified within the Initial Study; an omission on the list of conditions does not absolve the need to implement the mitigations identified in the Initial Study.
9. Prior to any site work, the project applicant shall submit a geotechnical report to the City, prepared by a certified engineering geologist. The project applicant shall incorporate any recommended measures into the final site plan.
10. Construction of the project shall comply with the requirements of the National Pollution Discharge Elimination (NPDES) Permit and obtain a WDID from the State of California in conformance with the General Construction Storm Water Permit; Storm Water Pollution Prevention Plan (SWPPP) shall be prepared prior to construction activities.
11. Upon commencement of grading and construction activities, the applicant shall implement measures to offset particulate matter and emissions from construction equipment as specified by Butte County Air Quality Management District.
12. Prior to recordation of a Final Map, the applicant shall submit for review and approval improvement plans that shall include, not limited to, details related to above and underground infrastructure; piping and service laterals, meters, drop inlets, manholes, curb, gutter, and sidewalk, roadway, pavement markings, lighting, hydrants, street signs, electrical, transformer pedestals, and any and all components as required by the City of Gridley, the City Engineer, the Utility Supervisor, and Public Works Manager. Plans shall meet all required state and local ordinances, regulations, and Public Works Development Standards. Omissions on the plans does not constitute approval for the omission. Plans shall be reviewed and approved by the City Engineer and the Gridley Municipal Services Division.
13. Prior to recordation of the final map, the applicant shall coordinate with the Butte County Assessor's Office and Tax Collector to segregate any assessments against the properties and pay any delinquent, current, and future taxes and/or assessments against the properties as required.
14. Dedicate and improve as required the maximum portion up to 30 feet in width of the north one-half street section of Laurel Street from Randolph Ave to the westerly limits of the

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

proposed subdivision to the requirements of the City Engineer meeting the Public Works Standards.

15. Enter into an agreement for fair share costs for the construction of the south half of Laurel Street to be assessed at a future date as required for the construction thereof.
16. Dedicate and improve the 50-foot width local residential street right-of-way for the interior subdivision streets to the satisfaction of the City Engineer.
17. Dedicate a 10-foot public services easement adjacent to all public right-of-way frontages.
18. Prior to approval of a Final Map all of the following requirements shall be completed:
19. A registered engineer shall prepare and submit the following information to Gridley Department of Public Works for review and approval:
  - a. Calculations identifying the estimated rate of peak stormwater runoff from the gross area of the undivided site and abutting streets - as they exist at the time of approval of the tentative subdivision map- during currently adopted design storm event. The calculations shall be prepared in a manner consistent with the Gridley Public Works Construction Standards, and with standard engineering practice. The Drainage Analysis shall be on the prescribed and adopted format used by the city.
  - b. The applicant shall enter into an agreement at the time of improvement plan approval, Subdivision Agreement, or Final Map to construct and share a detention basin on the property to the west, APN 010-270-122, currently owned by James and Colleen Banes.
  - c. Construction details, plans and profiles, typical sections, specifications, and maintenance plans for any proposed stormwater detention facilities to be constructed to serve the parcels created by this subdivision.
  - d. The developer/developer engineer shall provide material submittals that have been reviewed and approved by engineer of record prior to submittal being submitted specification sheets for all materials to be used in the construction of all underground and all materials within the right of way.
  - e. Prior to any construction, the developer and team shall schedule a pre-construction site meeting to discuss the project.

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

- f. The developer shall provide a construction schedule to the City Engineer prior to commencement of construction.
- g. An assessment against the development and individual parcels shall be established to fund the on-going maintenance costs associated with any approved stormwater detention facilities, lighting, landscape, and drainage components as determined by the City Engineer.
- h. Dedication of the area for the detention facilities, if required shall be made to the City of Gridley as a condition of recordation of the Final Map.
- i. The design of surface detention facilities, if required, shall minimize use of the facility by mosquitoes for breeding by incorporating some or all of the features recommended by the Butte County Mosquito and Vector Control District.
- j. All drainage improvements shall be constructed in conformance with the Gridley Public Works Construction Standards, the City of Gridley Master Drainage Plan, and the details shown on approved construction plans. The developer shall have a registered engineer prepare and submit construction details, plans and profiles, typical sections, specifications, and cost estimates to the Department of Public Works for review and approval prior to the recordation of the Final Map.
- k. Developer's engineer of record shall determine whether State of California Variances are required and shall prepare all documents for review and approval to the City Engineer.
- l. No work or construction shall commence prior to the approval of all improvement plans, grading plans, rough grading, import or other activities.
- m. A geotechnical report is required to be prepared. If ground water is discovered, a groundwater discharge plan (Dewatering) shall be prepared, submitted and reviewed and approved by the City Engineer. All state and local permits for dewatering shall be obtained prior to commencement of work. The contractor is advised that groundwater levels vary depending on the irrigation season.
- n. Construction shall ensure that compaction testing shall be done within roadways with a map depicting where tests were done and submitted to the City Engineer. The Engineer of Record shall ensure, by statement, that the results comply with all requirements of the geotechnical report.

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

- o. A traffic control plan shall be submitted for review and approval by the City Engineer prepared by a traffic engineer, registered civil engineer, or a certified American Traffic Safety Services Association person.
- 20. Telephone, cable television, and gas service shall be provided to all parcels in accordance with the Gridley Public Works Construction Standards, the Gridley Municipal Code, and the requirements of the agencies providing these services, without exception.
- 21. If any existing utilities must be relocated as a result of this subdivision, the agencies that own the facilities may require the developer to pay the cost of such relocations.
- 22. The lots shall be graded in conformance with the Gridley Public Works Construction Standards and the Gridley Municipal Code. The developer shall submit grading details, plans and specifications prepared by a registered engineer to the Department of Public Works for review and approval prior to the start of any work.
- 23. The Applicant shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to the plaintiff in an action challenging the validity of this tentative subdivision map or any environmental or other documentation related to approval of this tentative subdivision map.
- 24. Provide existing topo 100 feet beyond boundary and proposed finish grade contour lines both at 1 foot contour intervals.
- 25. Provide water distribution plan, proposed sizes and tie in locations.
- 26. Develop conceptual sewer plan, proposed sizes, slopes, sewer manholes and tie in locations.
- 27. Develop conceptual drainage plan, sizes and overland release and detention facilities.
- 28. Show public utility easements (PUE) on plan. Provide Landscape Plan for street landscaping from Randolph Ave to the subdivision for review and approval by the Planning Department. A street tree master plan shall be developed for the subdivision for review and approval.
- 29. Show all existing public facilities within 100-feet beyond the site boundary.

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

30. Show proposed building setbacks for each parcel or provide a typical set back detail for interior lots and corner lots.
31. All overhead utilities shall be underground within subdivision.
32. Street lighting shall be provided interior of the subdivision and as required along the Laurel Street extension from Randolph Ave. The lighting layout will be approved by the city and will be decorative acorn lighting.
33. Street names to be reviewed and approved by the Planning Department.
34. Electrical and Water to be looped into existing infrastructure. The applicant shall coordinate with Gridley Electric specific to the design needs.
35. Meet requirements of Reclamation District 833. The proposed development shall mitigate the increased stormwater runoff such that RD 833 facilities and properties served by the district aren't impacted due to the increased stormwater. The water surface elevation within the district canals, and any existing flooding duration within the district shall not be increased.

Reclamation District 833 shall review and approve the storm drainage design with costs being reimbursed by the developer to the district. RD 833 will bill the developer independent of the city of Gridley.

Fencing along the south boundary contiguous to the RD 833 lands whether owned in fee or by easement shall be reviewed and approved by the city Planning Department.

36. Provide detailed information, recorded easements, related to the site proposed to be used for discharge by the project and by the city for storm water discharge able to be designed to meet the retention needs for storm water metering. Refer to 19 (b) above.
37. The applicant may enter into a Subdivision Agreement in order to record the Final Map prior to all improvements constructed. The agreement is a document approved by Council resolution.
38. The applicant may request a grading permit and pay all applicable fees as reviewed and approved by the City Engineer.
39. The applicant/developer may develop the subdivision in phases at the review and approval of the city.

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

40. All costs related for plan review, design, and improvement plan approval by city staff and/or consultants will be the responsibility of the applicant/developer at actual cost.
41. Segregate any assessments against the properties.
42. Pay any delinquent taxes and/or assessments against the properties.
43. Note on a separate document to be recorded simultaneously with the Subdivision Map, the requirement for payment of school impact fees, as levied by the Gridley Unified School District in accordance with State legislation at the currently adopted rate per square foot of building area.
44. Note on a separate document to be recorded simultaneously with the Subdivision Map, the requirement for payment of drainage fees levied and must be paid to the City at the time a building permit is issued for development of each parcel, as required.
45. Install street name signs, traffic control signs, pavement markings and barricades in conformance with the Gridley Public Works Construction Standards.
46. Dedication of the total area of the detention basin, park, open space, frontage improvements and all pedestrian connection trails, shall be made to the city of Gridley in fee title as a condition of recordation of the Final Map.
47. If surface detention facilities are proposed, the design shall minimize use of the facility by mosquitoes for breeding by incorporating some or all of the features recommended by the Butte County Mosquito and Vector Control District.
48. All homes on the new lots created by this subdivision shall be connected to the city sanitary sewer system prior to issuance of a Certificate of Occupancy.
49. All sanitation facilities shall be constructed in conformance with the Gridley Public Works Construction Standards and the Gridley Municipal Code. The developer shall submit construction details, plans and profiles, typical sections, specifications, and cost estimates that have been prepared by a registered engineer to the Department of Public Works for review and approval prior to start of any work.
50. All homes on the new lots created by this subdivision shall be connected to the municipal water system.
51. All water facilities shall be constructed in conformance with the Gridley Public Works Construction Standards and the Gridley Municipal Code. The developer shall submit construction details, plans and profiles, typical sections, specifications, and cost estimates that have been prepared by a registered engineer for review and approval prior to start of any work.

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

52. The City and the developer shall coordinate with RD 833 for the construction of appropriate decorative fencing to prohibit access to the canal.
53. The developer shall install fire hydrants in conformance with the requirements of the Uniform Fire Code as interpreted by the local division of the California Division of Forestry, the City of Gridley's contract Fire Department. The number of hydrants installed, as well as the exact location and size of each hydrant and the size of the water main serving each hydrant, shall be as specified in the Code.
54. All residential structures shall provide a fire sprinkler system that meets or exceeds the requirements of the Fire Code.
55. All residential units are required to provide an operable solar system sized to the expected demand. Plans showing the proposed solar design and technical data sheets shall be submitted to the Electric Department for review and approval prior to submitting to Butte County for a building permit.
56. Telephone, cable television, internet, and natural gas service shall be provided to all parcels in accordance with the Gridley Public Works Construction Standards, the Gridley Municipal Code, and the requirements of the agencies providing these services.
57. If any existing utilities must be relocated as a result of this subdivision, the agencies that own the facilities may require the developer to pay the cost of such relocations.
58. The applicant/developer is responsible for paying all costs for a third-party inspector during the construction of any or all phases of development.
59. Fencing of the rear yards for the project shall occur at the time of housing construction and shall be the responsibility of the developer. Fencing throughout the project shall be consistent from lot to lot as reviewed and approved by the Planning Department. Fencing adjacent to the RD 833 canal shall be 7 feet in height.
60. Form an assessment district to cover on-going maintenance costs of facilities within the subdivision including landscaping areas and the drainage detention basin.
61. Construction practices shall conform to the standards adopted by the Butte County Air Quality Management District, which requires that 1) fugitive dust emissions related to construction of public improvements for the subdivision be controlled at all times, 2) all clearing, grading, earth moving or excavation activities must cease during periods of wind exceeding 15 miles per hour averaged over one hour, and 3) large off-road diesel equipment used for grading at the site must be maintained in good operating conditions.
62. Note on a document to be recorded concurrently with the Final Map that agricultural spraying and keeping of livestock may occur on surrounding properties and that such



**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

agricultural uses are permitted by the zoning of those properties and will not be abated unless the zoning changes.

63. All of the mitigation measures identified within the Initial Study are added herein and considered a condition of approval.
64. Comply with the mitigation measures identified within the Initial Study to reduce impacts to a less-than-significant level and are incorporated herein.

**MM 1.1** In conjunction with the submittal of improvement plans, the applicant shall submit a lighting plan for the review and approval of the Planning Department. The lighting plan shall indicate the provision of shielding for all street light fixtures to avoid nighttime lighting spillover effects on adjacent land uses and nighttime sky conditions. In addition, the lighting plan shall address limiting light trespass and glare through the use of shielding and directional lighting methods including, but not limited to, fixture location, design, and height as required by the Gridley Municipal Code.

**MM 3.1** The project shall implement the following measures during construction:  
Use adequate fugitive dust control measures for all construction activities during all phases of construction.

Provide energy-efficient lighting and process systems.

No open burning of vegetative material on the project site.

Use temporary traffic control as appropriate at all stages of construction.

Design streets to maximize pedestrian access to transit stops, where feasible.

**MM 3.2** Construction dust and equipment exhaust emission measures shall be implemented:

Water all active construction sites at least twice daily.

Use chemical stabilizers on inactive construction areas (disturbed lands within construction projects that are unused for at least four consecutive days).

On-site vehicle limited to a speed of 15 mph on unpaved roads.

Construction equipment exhaust emissions shall not exceed BCAQMD Rule 201, Visible Emission limitations.

The primary contractor shall be responsible for ensuring that all construction equipment is properly tuned and maintained.

Utilize existing power sources (e.g., power poles) or clean fuel generator rather than temporary power generators.

Minimize equipment idling time to 10 minutes.

Land clearing, grading, earthmoving or excavation activities suspended when winds exceed 20 miles per hour.

Non-toxic binders (e. g. latex acrylic copolymer) should be applied to exposed areas after cut and fill operations.

Plant vegetation ground cover in disturbed areas as soon as possible.

Cover inactive storage piles.

Paved streets adjacent to the development site should be swept or washed at the end of the day as necessary to remove excessive accumulations of silt and/or mud which

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

may have accumulated as a result of activities on the development site. Post publicly visible sign with the telephone number and person to contact regarding dust complaints. This person shall respond and take corrective action within 24 hours. The telephone number of the BCAQMD shall also be visible to ensure compliance with BCAQMD Rule 201 and 207 (Nuisance and Fugitive Dust Emissions). Prior to final occupancy, the applicant demonstrates that all ground surfaces are covered or treated sufficiently to minimize fugitive dust emissions.

**MM 4.1** The project applicant shall conduct preconstruction surveys to determine if Sanford's arrowhead, Giant garter snake, Northern harrier, Swainson's hawk, Greater sandhill crane, Burrowing owl, and Silver-haired bat exist on the site. Should any of the listed be discovered, the applicant shall obtain the necessary approvals for Incidental Take from the CDFW.

*Burrowing Owl*

Within 14 days prior to any ground disturbing activities for each phase of construction, the project applicant shall retain a qualified biologist to conduct a preconstruction survey of the site, any off-site improvement areas, and all publicly accessible potential burrowing owl habitat within 500 feet of the project construction footprint. The survey shall be performed in accordance with the applicable sections CDFW Staff Report on Burrowing Owl Mitigation. The qualified biologist shall be familiar with burrowing owl identification, behavior, and biology, and shall meet the minimum qualifications for such preconstruction survey. If the survey does not identify any nesting burrowing owls on the site, further mitigation is not required for that phase unless activity ceases for a period in excess of 14 days in which case the survey requirements and obligations shall be repeated. If active burrowing owl dens are found within the survey area in an area where disturbance would occur, the project applicant shall implement measures as determined by the qualified biologist. During the breeding season (February 1 through August 31), the following measures will be implemented:

Disturbance-free buffers will be established around the active burrow. During the peak of the breeding season, between April 1 and August 15, a minimum of a 500-foot buffer will be maintained. Between August 16 and March 31, a minimum of a 150-foot buffer will be maintained. The qualified biologist will determine, in consultation with the City of Gridley Planning Division and CDFW, if the buffer should be increased or decreased based on-site conditions, breeding status, and non-project-related disturbance at the time of construction. Monitoring of the active burrow will be conducted by the qualified biologist during construction on a weekly basis to verify that no disturbance is occurring. After the qualified biologist determines that the young have fledged and are foraging independently, or that breeding attempts were not successful, the owls may be excluded in accordance with the non-breeding season measures below. Daily monitoring will be conducted for one week prior to exclusion to verify the status of owls at the burrow.

During the non-breeding season (September 1 to January 31), owls occupying burrows that cannot be avoided will be passively excluded consistent with Appendix E of the 2012 CDFW

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

**Staff Report:**

Within 24 hours prior to installation of one-way doors, a survey will be conducted to verify the status of burrowing owls on the site.

Passive exclusion will be conducted using one-way doors on all burrows suitable for burrowing owl occupation.

One-way doors shall be left in place a minimum of 48 hours to ensure burrowing owls have left the burrow before excavation.

While the one-way doors are in place, the qualified biologist will visit the site twice daily to monitor for evidence that owls are inside and are unable to escape. If owls are trapped, the device shall be reset and another 48-hour period shall begin. After a minimum of 48 hours, the one-way doors will be removed and the burrows will be excavated using hand tools to prevent reoccupation. The use of a pipe is recommended to stabilize the burrow to prevent collapsing until the entire burrow has been excavated and it can be determined that no owls reside inside the burrow. After the owls have been excluded, the excavated burrow locations will be surveyed a minimum of three times over two weeks to detect burrowing owls if they return. The site will be managed to prevent reoccupation of burrowing owls (e.g., disking, grading, manually collapsing burrows) until development is complete. If burrowing owls are found outside the project site during preconstruction surveys, the qualified biologist shall evaluate the potential for disturbance. Passive exclusion of burrowing owls shall be avoided to the maximum extent feasible where no ground disturbance will occur. In cases where ground disturbance occurs within the no-disturbance buffer of an occupied burrow, the qualified biologist shall determine in consultation with the City of Gridley Planning Division and CDFW whether reduced buffers, additional monitoring, or passive exclusion is appropriate.

Compensatory Mitigation, if Active Owl Dens are Present: If active burrowing owl dens are present and the project would impact active dens, the project applicant shall provide compensatory mitigation in accordance with the requirements of the CDFW. Such mitigation shall include the permanent protection of land, which is deemed to be suitable burrowing owl habitat through a conservation easement deeded to a non-profit conservation organization or public agency with a conservation mission, or the purchase of burrowing owl conservation bank credits from a CDFW-approved burrowing owl conservation bank. In determining the location and amount of acreage required for permanent protection, the project applicant, in conjunction with the City of Gridley

Planning Division, shall seek lands that include the same types of vegetation communities and fossorial mammal populations found in the lost foraging habitat.

Swainson's Hawk

If project construction plans require ground disturbance that represents potential nesting habitat for migratory birds or other raptors including Swainson's hawk, the project contractor shall initiate such activity between September 1st and January 31st, outside the bird nesting season, to the extent feasible. If tree removal must occur during the avian breeding season (February 1st to August 31st), a qualified biologist shall conduct a survey for ground-nesting birds. The survey shall be conducted 14 days prior to the commencement

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

of construction and include all potential ground-nesting sites and trees and shrubs within 75 feet of the entire project site. The findings of the survey shall be submitted to the City of Gridley Planning Department. If nesting passerines or raptors are identified during the survey within 75 feet of the project site, a 75-foot buffer around the ground nest or nest tree shall be fenced with orange construction fencing. If the ground nest or nest tree is located off the project site, then the buffer shall be demarcated as per above. The size of the buffer may be altered if a qualified biologist conducts behavioral observations and determines the nesting passerines are well acclimated to disturbance. If acclimation has occurred, the biologist shall prescribe a modified buffer that allows sufficient room to prevent undue disturbance/harassment to the nesting birds. Construction or earth-moving activity shall not occur within the established buffer until a qualified biologist has determined that the young have fledged (that is, left the nest) and have attained sufficient flight skills to avoid project construction zones, which typically occurs by July 15th. However, the date may be earlier or later, and would have to be determined by a qualified biologist. If a qualified biologist is not hired to watch the nesting passerines, then the buffers shall be maintained in place through the month of August and work within the buffer may commence September 1st.

Prior to the issuance of a grading permit, the dedication of land suitable for replacement Swainson's hawk foraging habitat shall be dedicated by the project applicant at a ratio of 1:1 for all existing unpaved areas within the project site. The location of the replacement foraging habitat shall be coordinated with, and approved by, the CDFW, and shall be acquired prior to development of the project site. Proof of CDFW approval shall be submitted to the City of Gridley Planning Department.

*Giant Garter Snake*

During the pre-construction survey, the biologist shall investigate the site for habitat or evidence of the Giant Garter Snake on or proximate to the subject site. Protective fencing shall be erected on the north, east, and south property lines to mitigate migration into the site during construction.

**MM 4.2** The biologist shall submit a report documenting the site investigation and findings prior to the onset of construction activities. This includes any installation of bmps required by the General Construction Permit, clearing or grubbing, demolition of existing structures and/or roughgrading. The report shall be submitted to the City of Gridley Planning Department for review and acceptance of the findings of the biologic site review.

**MM 5.1** Prior to the commencement of construction, an archaeologist meeting the Secretary of the Interior's Professional Qualification Standards for prehistoric and historic archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate shall be retained to conduct a survey of the site and a thorough records search. The archaeologist shall be required to submit to the Planning Department for review and approval a report of the findings and method of curation or protection of the resources. During construction, the developer shall submit plans to the Planning Department for review and approval which indicate (via notation on the improvement plans) that if historic and/or cultural resources are encountered during site grading or other site work, all such

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

work shall be halted immediately within 100 feet and the developer shall immediately notify the Planning Department of the discovery. In such case, the developer shall be required, at their own expense, to retain the services of a qualified archaeologist

**MM 5.2** If human remains, or remains that are potentially human, are found during construction, a professional archeologist shall ensure reasonable protection measures are taken to protect the discovery from disturbance. The archaeologist shall notify the Butte County Coroner (per §7050.5 of the State Health and Safety Code). The provisions of §7050.5 of the California Health and Safety Code, §5097.98 of the California Public Resources Code, and Assembly Bill 2641 will be implemented. If the Coroner determines the remains are Native American and not the result of a crime scene, then the coroner will notify the Native American Heritage Commission (NAHC), which then will designate a Native American Most Likely Descendant (MLD) for the project (§5097.98 of the Public Resources Code). The designated MLD will have 48 hours from the time access to the property is granted to make recommendations concerning treatment of the remains. If the applicant does not agree with the recommendations of the MLD, the NAHC can mediate (§5097.91 of the Public Resources Code). If an agreement is not reached, the qualified archaeologist or most likely descendent must rebury the remains where they will not be further disturbed (§5097.98 of the Public Resources Code). This will also include either recording the site with the NAHC or the appropriate Information Center, using an open space or conservation zoning designation or easement, or recording a reinternment document with the county in which the property is located (AB 2641). Work cannot resume within the no-work radius until the City of Gridley, through consultation as appropriate, determine that the treatment measures have been completed to their satisfaction.

**MM 8.1** Prior to the start of construction activities, the project applicant shall submit a construction equipment inventory list to the City Engineer demonstrating compliance with U.S. EPA CARB, and BCAQD requirements. The list shall be updated if additional equipment will be used to ensure the compliance. The use of alternatively fueled construction equipment, such as hybrid electric or natural gas-powered equipment, would also be acceptable, given that such technologies are implemented to a level sufficient to achieve similar emission reductions.

**MM 8.2** Prior to the issuance of building permits, the project applicant/developer shall submit a Landscaping Plan for review and approval by the Planning Department. The Landscaping Plan shall be prepared to reflect the design for the linear park, detention basin park, and play area. The design shall also provide a subdivision tree planting plan.

**MM 14.1** Project noise-generating construction activities shall occur within the hours identified in Gridley Municipal Code.

**MM 14.2** All noise-producing project equipment and vehicles using internal-combustion engines shall be equipped with manufacturers-recommended mufflers and be maintained in good working condition.

**MM 14.3** All mobile or fixed noise-producing equipment used on the project site that are regulated for noise by Title 7 of the Gridley Municipal Code, §17.74.030 and shall comply with such regulations while in the course of project activity.

**MM 14.4** Electrically powered equipment shall be used, where feasible, instead of pneumatic or internal-combustion-powered equipment.

**ATTACHMENT 2**  
**RESOLUTION NO. 2022-R-032**

**MM 14.5** Material stockpiles and mobile equipment staging, parking, and maintenance areas shall be located as far as practicable from noise-sensitive receptors.

**MM 14.6** Project area and site access road speed limits shall be established by conditions of approval to the project and enforced during the construction period in conjunction with MM 14.8 below.

**MM 14.7** Nearby residences shall be notified of construction schedules by posting a minimum of 48 hours in advance, so that arrangements can be made, if desired, to limit their exposure to short-term increases in ambient noise levels.

**MM 14.8** The engineer shall coordinate with the City of Gridley to potentially employ the design of traffic calming measures on Little Avenue in order to ensure speed reductions due to the excessively long, straight alignment that will be conducive to greater speeds and potentially an increase in general traffic ambient noise. No design shall be constructed until approved by the City of Gridley.

**I HEREBY CERTIFY** that the foregoing resolution was duly introduced and adopted at the regular City Council meeting of the City of Gridley held on the 19<sup>th</sup> day of September, 2022, by the following vote:

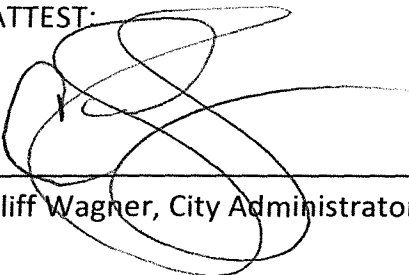
AYES: Johnson, Torres, Calderon, Sanchez, Farr

NOES: None

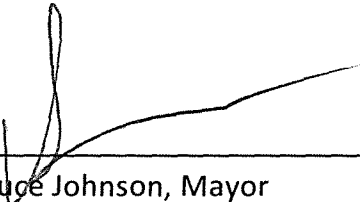
ABSTAIN: None

ABSENT: None

ATTEST:

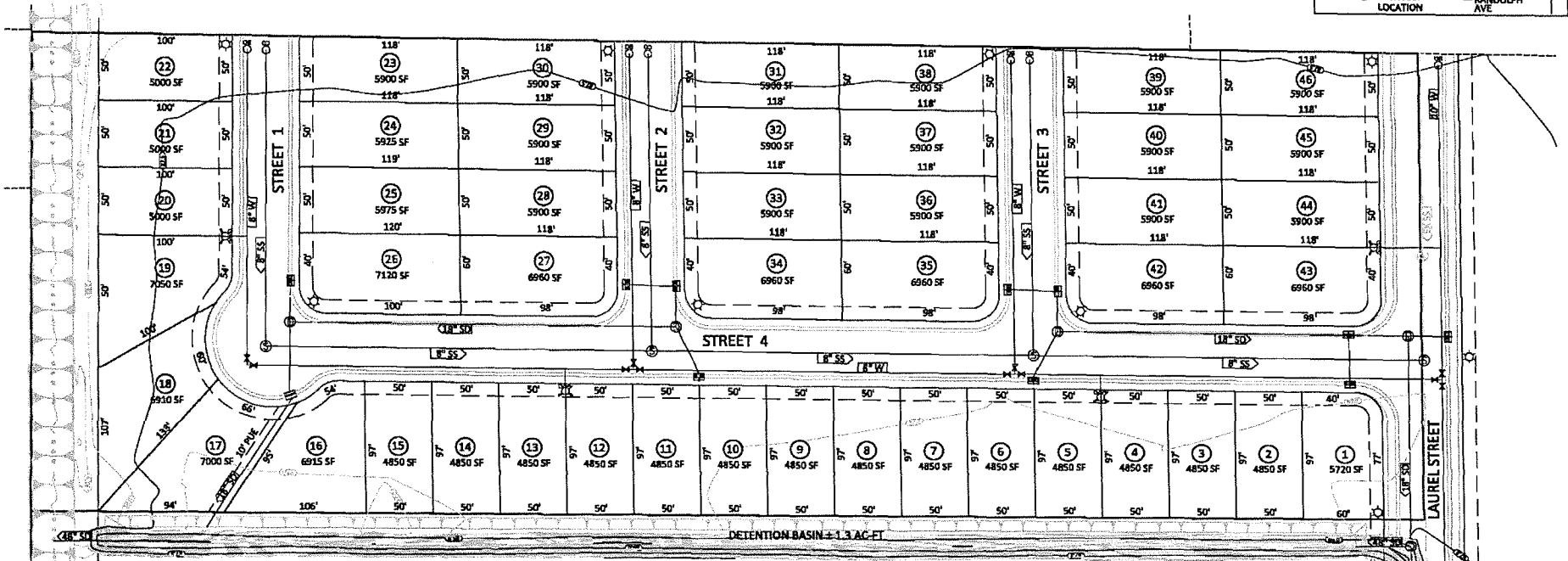
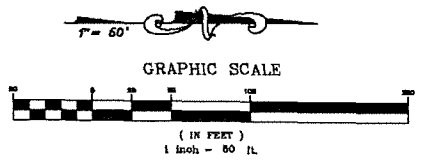
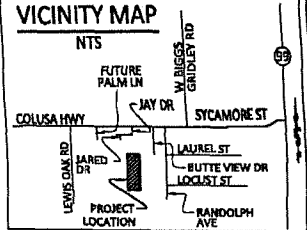
  
\_\_\_\_\_  
Cliff Wagner, City Administrator

APPROVE:

  
\_\_\_\_\_  
Bruce Johnson, Mayor

TENTATIVE SUBDIVISION MAP NO.  
**EDLER ESTATES**  
CITY OF GRIDLEY, COUNTY OF BUTTE, CALIFORNIA  
12/01/2021

849-ACRE TENTATIVE SUBDIVISION MAP  
BEING A PORTION OF SECTION 2  
T. 17N., R. 2E., M.D.B. & M.



**PROJECT NOTES**

**OWNER/DEVELOPER/SUBDIVIDER**  
JAMES M. RATLIFF  
PO BOX 790,  
MARYSVILLE, CA 95901

**PROJECT ENGINEER**  
 VANDY ENGINEERING  
PO BOX 1800  
RODMAN, CA 95977  
PHONE: 530-482-9687  
www.vandy-engineering.com

**EXISTING USE**  
VACANT, AGRICULTURAL  
ZONING: RS (RESIDENTIAL SUBURBAN)  
GENERAL PLAN: RESIDENTIAL VERY LOW DENSITY

**PROPOSED USE**  
SINGLE FAMILY RESIDENTIAL - 46 LOTS  
PHASING: PER MARKET CONDITIONS  
LOT AREAS: 4850 TO 7050 SF  
ZONING: R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)  
GENERAL PLAN: RESIDENTIAL MEDIUM DENSITY  
GROSS AREA: ± 8.49 ACRES  
DENSITY: 6 LOTS PER ACRE

**PROJECT LOCATION**  
APN: 010-270-076  
GRIDLEY, CA

**UTILITIES**  
STORM DRAIN: CITY OF GRIDLEY/RD 833  
SEWAGES: CITY OF GRIDLEY  
WATER: CITY OF GRIDLEY  
FIRE PROTECTION: CITY OF GRIDLEY  
NATURAL GAS: PG & E  
ELECTRICAL: CITY OF GRIDLEY  
TELEPHONE: AT&T

**PUBLIC SERVICE DEDICATIONS**  
WATER, SEWER, STORM DRAIN, AND STREET  
IMPROVEMENTS SHALL BE DEDICATED  
TO THE CITY OF GRIDLEY IN FEE.

**STREET NAMES**  
STREET NAMES ARE PRELIMINARY ONLY.  
FINAL NAMES WILL BE ASSIGNED UPON  
SUBMITTAL TO AND APPROVAL BY THE  
CITY OF GRIDLEY.

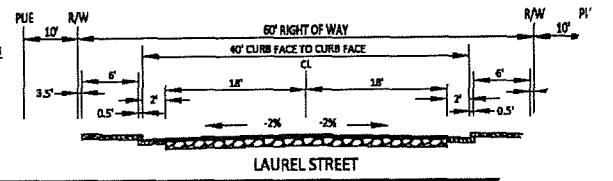
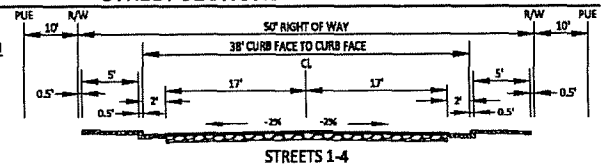
**ABBREVIATIONS**  
EX - EXISTING  
PROP - PROPOSED  
PL - PROPERTY LINE  
ROW - RIGHT OF WAY  
W - WATER  
SS - SANITARY SEWER  
SD - STORM DRAIN  
ESMT - EASEMENT  
PUE - PUBLIC UTILITY EASEMENT  
TYP - TYPICAL

**LINETYPES**  
EX PL  
PROP PL  
CENTER LINE  
10' PUE  
CITY LIMIT  
STORM DRAIN  
ALL SD PIPE 12" UNLESS OTHERWISE NOTED

**MINIMUM STRUCTURAL SECTION**  
2" AC, 8" AB  
T1 = 4.0, R = 23  
VERTICAL CURB AND GUTTER

**MINIMUM STRUCTURAL SECTION**  
3" AC, 9" AB  
T1 = 4.0, R = 23  
VERTICAL CURB AND GUTTER

**STREET SECTIONS**







**Planning Commission Item #3**  
Staff Report

**Date:** October 16, 2024  
**To:** Chair, Planning Commissioners  
**From:** Donna Decker, Planning Department

<input checked="" type="checkbox"/>	Regular
<input type="checkbox"/>	Special
<input type="checkbox"/>	Closed
<input type="checkbox"/>	Emergency

**Subject:** **Reinstatement of SDP 1-22;** Site Development Plan Review No. 1-22 for the development of a mixed-use commercial site consisting of a 5,200 square-foot convenience market with auto fuel pumps, a 4-pump fuel canopy for tractor/trucks/semis, a 1,344 square-foot carwash, and an 824 square-foot coffee kiosk with 2-drive-thru lanes located in the Commercial general Plan land use designation and zoned as General Commercial (C-2) at 1225 Hwy 99. (APN 021-270-043 & -044)

---

**Recommendations**

City staff respectfully recommends the Planning Commission approve the reinstatement of SDP 1-22 for an additional 2 years.

**Summary**

The applicant, Julio Tinajero, Milestone Engineering, on behalf of the owner, J & S Hospitality, submitted applications to develop two parcels into a commercial development located at 1225 Hwy 99. The approval expired for the site development plan review only, and is requesting the Planning Commission reinstate the approval; nothing has changed from the original presentations.

**Discussion**

Location and existing uses

The subject site is a combined total of 3.41 acres consisting of two parcels being merged into one. The site is located at the northwest corner of SR 99 and West Liberty Road. This location recently had a street light installed at the time FEMA improved the Industrial Park for the Camp Fire emergency housing.



**Figure 1: Location Map**

The development is bounded by UPRR to the west, industrial uses to the north, State Route 99 to the east and vacant land to the south. Further east the uses consist of vacant land, residential housing and orchards.

**General Plan and Zoning**

The existing General Plan land use designation for the parcels is Commercial. The existing zoning designation is General Commercial (C-2). The proposed use for a fuel station, convenience market, and drive-thru coffee kiosk are allowed uses in the zoning and general plan land use designations. Generally, the properties contiguous to State Route 99 are considered to be in the Gridley Highway 99 Commercial Corridor and the city has supported new commercial growth on the north-south state route. Commercial uses on the SR 99 corridor are consistent with the direction of city growth and to maximize the city's commercial development.

Site Design

# HIGHWAY 99 RETAIL CENTER

1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043 &-044

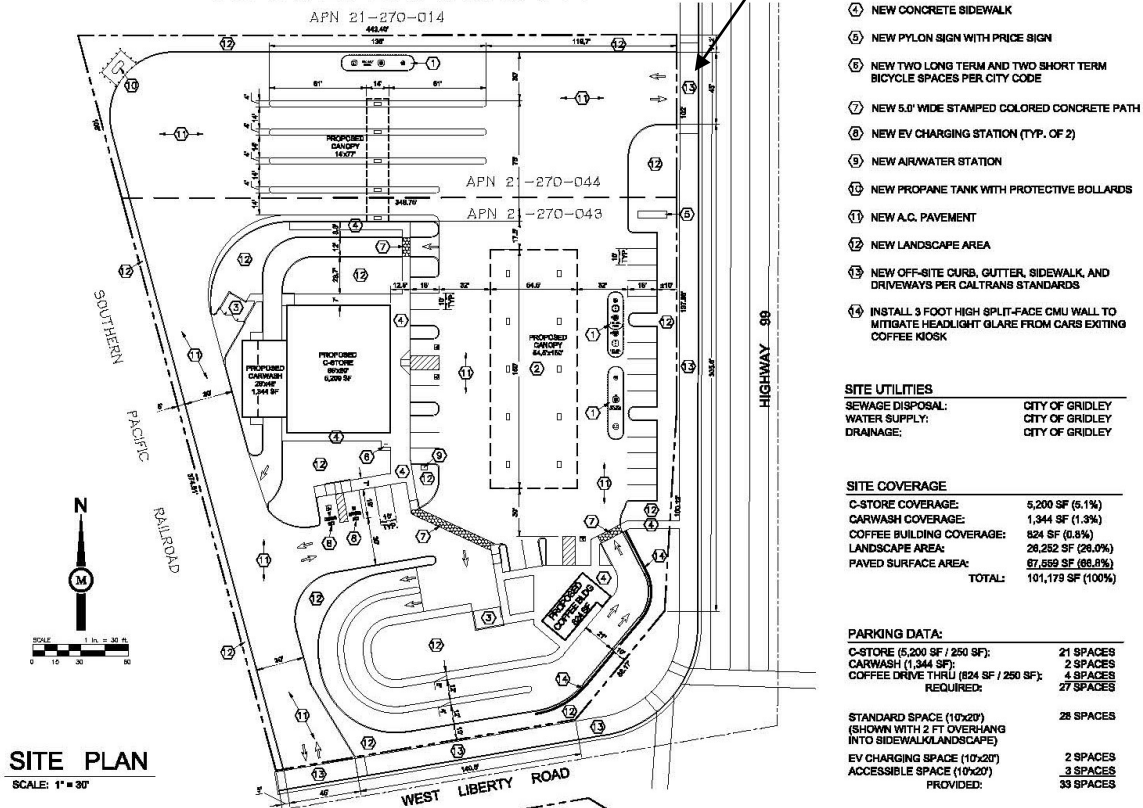


Figure 2: Site Plan

Development

The site is configured with the following constructed elements:

• Building Footprint-Convenience Market	5,200 Sq. Ft.	3.5%
• Car Wash	1,344 Sq. Ft.	0.9%
• Fuel Canopy Area (Trucks)	1,078 Sq. Ft.	0.7%
• Fuel Canopy Area (Autos)	8,175 Sq. Ft.	5.5%
• Coffee Kiosk	824 Sq. Ft.	0.6%
• Landscaping	26,252 Sq. Ft.	18%
• Other paving	148,540 Sq. Ft.	70.8%

The areas described above may vary when actual construction drawings are prepared for submittal and does not include the paving for curb, gutter, and sidewalk.

#### *Access*

The site is entered at the Highway 99 driveway entry close to the north property line when traveling either northbound or southbound.

The proposed development will construct curb, gutter, and sidewalk on the SR 99 frontage and West Liberty Road. The project was routed to Caltrans for preliminary comment. Originally, the site was designed on the south 2.41 acres. Caltrans requested that a driveway for joint access to both parcels be designed in order to limit the number of access points along SR99. In response to this comment, the applicant revised the plans to incorporate the north 1-acre parcel and place the driveway in its most northerly position. This design locates the SR 99 entry drive at the furthest distance from the intersection of SR 99 and West Liberty Road which was a concern of Caltrans as well.

An access drive has also been designed at the south property with ingress and egress from West Liberty Road. The traffic study evaluated both points of entry. The West Liberty Road driveway could currently accommodate autos and trucks that are not STAA trucks. West Liberty Road is not currently rated as an STAA roadway; however, the applicant is looking into what the requirements are to facilitate internal circulation. It would be optimum to have it designated as such to prevent conflicts of auto and truck traffic at the SR 99 entry. In the event that STAA trucks were to use the south driveway as access for entering or leaving the site, the driveway would need to be increased from its current 45-foot width to 84-foot width. Widening the driveway would allow better right turn into the site with the larger trucks.

New curb, gutter, and sidewalk will be constructed along the frontage of both SR 99 and West Liberty Road. The traffic study considered the impacts of the end of pedestrian connections at these points and suggested that a pedestrian connection should be considered in the future between the terminus of the sidewalk on West Liberty Road to the Industrial Sports Complex at Independence Place. This is somewhat problematic in that the terminus is very close to the UPRR crossing and the entire crossing would need to be reconstructed to accommodate a pedestrian crossing. This may be possible in the future; however, the costs currently outweigh the feasibility of constructing the pedestrian crossing. The city is considering its options and may incorporate traffic mitigation fees for projects to accomplish the improvements needed such as the UPRR rail crossing for bicyclists and pedestrians.

#### *Parking*

The site has multiple uses as a fuel station, retail market, coffee drive-thru, and a car wash. In accordance with Chapter 17.76, the applicant has determined the minimum required number of spaces and is providing 33 spaces on-site. Of these spaces, two electric charging spaces are being provided; one regular space and one ADA space. Additionally, four spaces are located adjacent to the coffee drive-thru with one space reserved for ADA parking for walk-up service.

#### *Building Design*

The building design offers a contemporary design that reflects typical architecture. The design provides for a stucco finish, detailing at the parapet, and screened roof mount equipment. The fuel canopy is typical of current designs and is attractive. The trash enclosure is designed to meet the requirements of Section 17.72.100 of the Gridley Municipal Code.

#### Landscaping

The landscaping plan provides color, texture and the required landscape documentation package needed in accordance with Title 13 of the Gridley Municipal Code. The project will be conditioned to provide, a water audit at the completion of the project.

#### Signage

The project will need to submit plans for planning review for signage. This should also include the “pylon” sign referenced in the plans. The sign code allows for monument signs to be up to 12 feet in height along the SR 99 corridor. Building signage shall be reviewed with a future application.

#### **Public Notice**

A notice was posted in the Gridley Herald 10 days in advance of the Planning Commission meeting, posted at City Hall, made available at the Administration public counter, and placed on the city website for review. At the time this report was prepared no comments had been received.

#### **Environmental Review**

The proposed project required a Mitigated Negative Declaration.

#### **Attachments –**

1. Exhibit A- Draft Conditions of Approval
2. Exhibit B- Plans

Exhibit A  
**DRAFT CONDITIONS OF APPROVAL**  
Site Development Plan Review No. 1-22  
1225 Highway 99  
APN 021-270-043 and 021-270-044

**Approved Use:**

**Reinstatement of SDP 1-22;** Site Development Plan Review No. 1-22 for the development of a mixed-use commercial site consisting of a 5,200 square-foot convenience market with auto fuel pumps, a 4-pump fuel canopy for tractor/trucks/semis, a 1,344 square-foot carwash, and an 824 square-foot coffee kiosk with 2-drive-thru lanes located in the Commercial general Plan land use designation and zoned as General Commercial (C-2) at 1225 Hwy 99.  
(APN 021-270-043 & -044)

---

**Conditions of Approval:**

**General**

1. The approved use for SDP 1-22 shall be substantially as described within this staff report, submitted site plans, narratives, and applications on file in City Hall except as modified by the following conditions. Minor changes to the use, areas, and etc. shall be subject to the review and approval by the Planning Department.
2. The applicant shall submit for review samples of colors and material to the Planning Department for review and approval at the time of building permit submittal.
3. The applicant/property owner shall file a Declaration of Acceptance of the Final Conditions of Approval within 30 days of Planning Commission/City Council approval. The application shall expire one (2) years from the date of Planning Commission approval. If no permit has been secured, the applicant/owner or his/her successor may apply for an extension of the Site Development Plan review. The proposed extension will meet all current requirements at the time of the request and shall be reviewed and approved by the Planning Commission.
4. All construction shall be in accordance with all of the City of Gridley and the County of Butte currently adopted Building Codes; including but not limited to the Plumbing Code, Mechanical Code, Electrical Code, and the California Green Building Standards Code. The applicant shall submit an electronic file for review by city staff to obtain the authorization to proceed for application to Butte County for a building permit.
5. The applicant shall apply separately for a grading permit to the city of Gridley. The deposit application fee is \$2,500 and the applicant shall be responsible for the payment of all plan check review costs.
6. The applicant/owner shall pay permit fees to the County to obtain all building permits. The applicant/owner shall pay fees directly to the City of Gridley for: Development Impact Fees, Electrical Fees, Grading Permit fees, Drainage Fees, and site inspection

fees. The applicant/owner is responsible to reimburse the City of Gridley for plan check costs and inspection costs that accrue for the project.

### **Caltrans**

7. The applicant shall provide the necessary permit application materials and bear all costs to apply to Caltrans to request West Liberty Road be designated as a STAA truck route for ingress and egress of STAA trucks into the site. All signage required shall be installed at the cost of the project applicant/owner.
8. Provide a turning radius analysis for all movements from street frontage through the project site and exiting back out to the streets. A site plan shall be provided that provides STAA truck/truck turning movements into and out of the site and on-site circulation. The turning movements shall show that there is no conflict with the truck circulation with other auto fueling and parking on the site.
9. Prior to construction, the applicant shall have all required approvals and an encroachment permit from Caltrans prior to performing any work within the state right-of-way.
10. A Landscape Maintenance Agreement shall be recorded between the City of Gridley and the property owner for the installation and maintenance of landscaping and other off-site improvements in a form suitable for recordation with the Butte County Recorder binding upon the property owner and his/her successor(s) in interest. All plants shall be maintained in a healthy, disease-free condition. Water and fertilizer shall be applied as necessary to maintain their normal color and growth rate. Weak or broken branches shall be removed by pruning. Dropped or faded flowers, seed pods, dead foliage and leaves shall not be allowed to accumulate. Dead plant materials shall be replaced with healthy plants promptly throughout the life of the project development. Annual and perennial planting beds shall be weed and litter free.
11. The site design has been reviewed and comments provided by Caltrans related to turning movement into the site. Caltrans has noted that there are no restrictions of turning movement into the site entry on State Route 99 northbound or southbound.

### **City of Gridley/County of Butte**

12. Plans for submittal shall incorporate all required 2016 California Green Building Standards Code or the most recently adopted code by the State of California and its revisions and requirements.
13. All site and building signage shall be submitted for review and approval by the Planning Department prior to placement on any structure or site location. A sign permit application will be submitted prior to any review and approval by the city.
14. Complete off-site improvements shall be designed, reviewed and approved by the City Engineer and Caltrans prior to permit issuance. Off-site improvements shall be

submitted for review and approval by the City of Gridley and Caltrans and shall include the construction of curb, gutter, sidewalk, plan and profile of in right-of-way utilities being tied into (sewer, water, and storm drain, manholes as required), landscaping buffer, irrigation components, fire hydrants, and all electrical connections. Relocation of any utilities or lighting or signalization shall also be shown on the plan and shall show existing location and the proposed new location.

The applicant shall provide a Title report and confirm boundaries are accurate.

15. The property owner shall enter into a written agreement for the maintenance of the on-site building, site, and site amenities, paving, and walkways in a form suitable for recordation with the Butte County Recorder binding upon the property owner and his/her successor(s) in interest. This agreement, at a minimum, shall state that all facilities and related equipment, including lighting, fences building facades, and materials shall be maintained in good repair, free from trash, debris, litter and graffiti, and other forms of vandalism, and any damage from any cause shall be repaired as soon as reasonably possible to minimize occurrences of dangerous conditions or visual blight. All pavement markings shall be maintained so as to be clearly visible throughout the life of the development. Trash, debris, litter or graffiti shall be removed from the site and any facility or equipment as soon as practicable and in no instance more than forty-eight hours from the time of notification by the City. The agreement shall acknowledge that any costs incurred by City staff due to non-responsiveness by the owner or manager of the site will be the responsibility of the property owner not taken care of, the costs of any cleanup by City staff will be a fee born by the owner and his/her successor(s) in interest.
16. The applicant/owner shall receive approval and filing of the Lot Merger/Certificate of Compliance recorded with Butte County prior to the Certificate of Occupancy.
17. Prior to construction, the applicant shall obtain an encroachment permit or other instrument to work on City utilities within the state right-of-way. All work on utilities shall be coordinated with the City Engineer and the Public Works Department. Electrical service is provided by PG & E.
18. Decorative lighting in conformance to the Highway 99 corridor lighting requirements shall be provided and installed as determined by the Planning Department and the City of Gridley Electrical Superintendent. The applicant shall provide a minimum of two decorative style 16-foot LED lights per driveway and on the site perimeter.
19. A separate water meter shall be provided to serve the landscape irrigation supply. All site metering shall be located as reviewed and approved by the Gridley Municipal Utility Department.
20. Abandon the existing 2" water service on the Highway 99 frontage. This will require exposing the existing 10" water main, remove the corp stop, and place a repair band



around the tap. The applicant/owner is responsible for all required permits from the City and Caltrans and provide all required traffic control in accordance with the Standard Specifications (Caltrans).

### **Site Design**

21. An exterior lighting plan shall be submitted for review and approval prior to permit issuance. The plan shall ensure that lighting is shielded or recessed to prevent direct glare and reflection is confined to the maximum extent possible to the site and does not go beyond the property boundaries. Exterior lighting shall be considerate of "Dark Sky" design and direct all lighting downward. Light foot-candles shall be at the lowest levels allowed and shall be placed on photovoltaic cells and sensor switches in conformance to the Green Building Code.
22. Outdoor refuse collection area location and design shall comply with 17.72.100. A cover shall be provided the design of which shall be reviewed and approved by the Planning Department.
23. Bicycle racks and an enclosed bicycle storage area for employees shall be provided on the site.
24. The driveways shall be reviewed for consistency with the required ADA standards thus requiring removal and replacement. The contractor shall protect all Caltrans and City infrastructure, signaling and all utilities from damage. If damage occurs, the cost to repair and/or replace is born by the applicant/owner/contractor. No reimbursements of costs are available from the City, State, or County.
25. All infrastructure demolished/removed shall be off-hauled and not stored on site. The site shall be cleaned and all debris, vegetation, and weeds shall be removed resulting in a clean site prepared for construction.
26. A SWPPP shall be required and all BMPS installed prior to the commencement of work. Weekly site inspections are required per the GCP to ensure BMPs are correctly placed. Should there be measureable rain forecasted 24 hours in advance of such event, a REAP shall be prepared in accordance with the requirements of the State of California Water Resources Dept. ([waterboards.ca.gov](http://waterboards.ca.gov))

### **Engineering**

27. Provide adequate fuel delivery vehicle turning area.
28. Provide a Geotechnical Report for the project site. (2 sets required upon submittal)
29. Civil Improvement Plans shall be prepared by a Civil Engineer licensed in the State of California.
30. Improvement plans shall include: Title Sheet, Existing Topographic Plan, Demolition Plan, Calculated Site Plan, Grading Plan, Drainage Plan, Utility Plan, Water Pollution

Control Plan (Erosion Control Plan), appropriate details and Construction Notes. (5 sets requires upon submittal)

31. The topographic survey shall include streets to the opposite side of the project site and include 100 feet outside the boundary on the west and north sides.
32. Provide all right of way widths including UPRR, SR 99 and West Liberty Road.
33. Provide a hydrology report in accordance with the City's current Public Works Construction Manual. Request the template from the city prior to beginning work. Coordinate with Reclamation District RD 2056. (2 sets required upon submittal)
34. The grading plan shall show the location or locations that provide 100-year overland release to natural drainage in the event any onsite drop inlet is plugged.
35. Vehicle overhang shall not infringe into any walkway limiting pedestrian access per Title 24. This may require parking bumpers.
36. Up to 30% of the site parking stalls may be designed as compact. Standard stall size is 10 ft x 20 ft.
37. All water connections will require back flow preventer devices. Provide a conceptual on-site water distribution plan.
38. An on-site hydrant may be required. Confirm the requirements with the Fire Department.
39. Provide City Engineer signature block on Title Sheet. Use "Accepted by" instead of "Approved by".

Provide an Engineer of Work Certificate:

ENGINEER OF WORK'S CERTIFICATE

I, \_\_\_\_\_, hereby declare that I am the Engineer of Work for this project, that I have exercised responsible charge over the design of the project as defined in Section 6703 of the Business and Professions Code, and the design is consistent with current standards of the City of Gridley and Special Districts having jurisdiction within the city. I understand that the check of project drawings and specifications by the city of Gridley and/or its contract City Engineer or their representative is confined to a review only and does not relieve me of responsibilities for project design.

Signed:

Date:

RCE No.:

Firm:

Address:

Telephone No.:

40. Provide signature block for Jeff Spence, Reclamation 2056.
41. Gridley is not a "Small MS4" as defined by the State Water Board. A SWPPP number will need to be provided and on the plans prior to the completion of the review by the city. However, the project may be subject to the post construction stormwater quality

requirements (section XIII) of the State General Construction Permit (Order 2009-0009). The post construction water balance calculator is provided in SMARTS. An excel spreadsheet based on the SMARTS calculations can be found at [https://www.waterboards.ca.gov/water\\_issues/programs/stormwater/constpermits.shtml](https://www.waterboards.ca.gov/water_issues/programs/stormwater/constpermits.shtml) (see Appendix 2). If a general permit is required provide 2 sets of calculations.

42. Include Landscape Documentation Package and plans with the Civil Improvement Plans.
43. No work or commencement of construction shall be allowed until the plans have been accepted as complete by the city of Gridley, Reclamation District 2056, and Caltrans.
44. All drainage and sewer lines shall be designed in accordance with the state water main separation requirements of Chapter 22, Section 64572 of the California Code of Regulations. If separation is not attainable, the applicant shall submit an application to the state for variances as required. The application package shall be submitted to the city for review and for forwarding to the State for approval. All costs shall be the responsibility of the developer.

#### **Building**

45. The project shall ensure that all interior noise levels are met by construction practices.
46. Plans shall reflect the placement of all gutters and downspouts.
47. Provide required Title 24 Energy Calculations. All measures in the calculations shall be reflected on the plans.
48. Provide a Mechanical Plan for duct layout, system equipment requirements that conform to ACCA Manual J, S, and D analysis and calculations for heat loss and gain as required by the Building Code.
49. During construction, all Butte County Air Quality mitigation measures shall be complied with.
50. Prior to construction, BMP for storm water pollution control shall be in place. The applicant shall provide verification of all General Construction Permit requirements are met and in place.

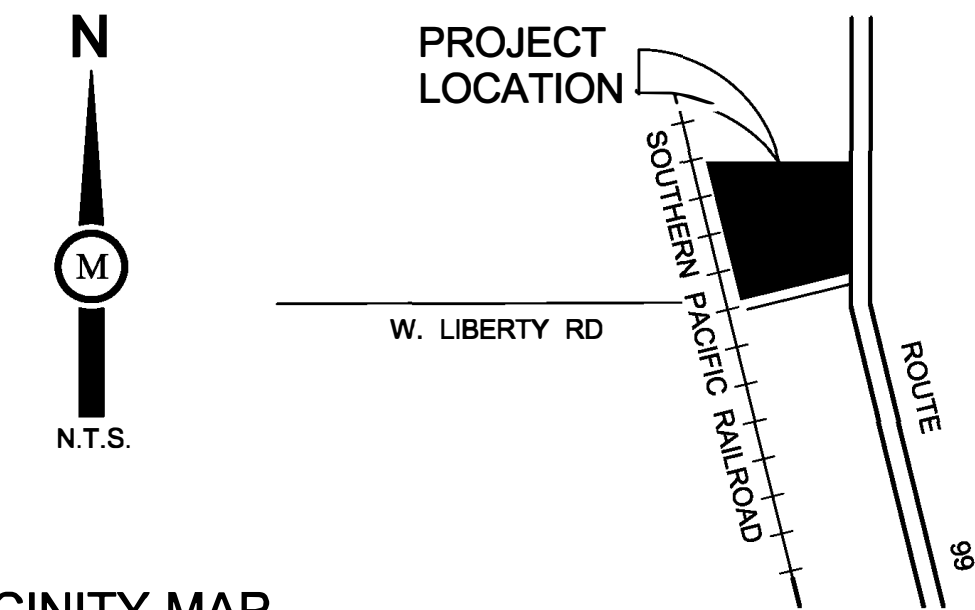
#### **Fire Department**

51. Plans for submittal shall comply with all Fire Department requirements. The applicant shall contact the City of Gridley Fire Department/CalFire for review and approval of site development plans and fire sprinkler systems. Clearly show the fire riser location on the plans for review and approval. Verify the number and location for fire hydrants that may be required.
52. The site shall provide all special equipment as required to mitigate fuel fires. Any areas related to fire safety or access shall provide keys to the Gridley Fire Department.

# HIGHWAY 99 RETAIL CENTER

1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043 &-044

CITY OF GRIDLEY



VICINITY MAP  
NOT TO SCALE

**LOT DATA:**

A.P.N.: 21-270-043 & 21-270-044  
TOTAL ACREAGE: 148,540 SF (3.41 AC) - COMBINED  
EXISTING PARCELS: 2  
PROPOSED PARCELS: 1  
EXISTING ZONE: COMMERCIAL  
PROPOSED ZONE: COMMERCIAL  
EXISTING USE: VACANT / STORAGE  
PROPOSED USE: CONVENIENCE STORE, CARWASH, GASOLINE SALES, TRUCK FUELING, AND COFFEE DRIVE THRU

**PROPERTY DESCRIPTION**

PARCEL 2, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "RECORD OF SURVEY" FILED IN THE OFFICE OF THE COUNTY RECORDER OF BUTTE COUNTY, CALIFORNIA, ON AUGUST 25, 2005, IN BOOK 164 OF MAPS, PAGE 80.

**APPLICANT**

J & S HOSPITALITY GROUP LLC  
1490 HIGHWAY 99  
GRIDLEY CA 95948  
ATTN: STEVEN LALLY  
(530) 301-8979

**SHEET INDEX**

- 1 SITE PLAN / PROJECT DATA
- 2 CONCEPTUAL GRADING PLAN
- 3 CONCEPTUAL UTILITY PLAN & PROFILE
- 4 C-STORE FLOOR PLAN
- 5 EXTERIOR ELEVATIONS
- 5.1 EXTERIOR ELEVATIONS
- 6 FUEL CANOPY PLAN AND ELEVATION
- 6.1 CANOPY PLAN AND ELEVATION
- 7 PHOTOMETRIC PLAN
- 8 LANDSCAPE CONCEPT PLAN
- 9 COFFEE BUILDING EXTERIOR ELEVATION

**CONSTRUCTION NOTES**

- ① NEW UNDERGROUND FUEL TANKS
- ② NEW FUEL DISPENSER (20 FUELING SPACES)
- ③ NEW COVERED C.M.U. TRASH ENCLOSURE WITH METAL ACCESS GATES
- ④ NEW CONCRETE SIDEWALK
- ⑤ NEW PYLON SIGN WITH PRICE SIGN
- ⑥ NEW TWO LONG TERM AND TWO SHORT TERM BICYCLE SPACES PER CITY CODE
- ⑦ NEW 5.0' WIDE STAMPED COLORED CONCRETE PATH
- ⑧ NEW EV CHARGING STATION (TYP. OF 2)
- ⑨ NEW AIR/WATER STATION
- ⑩ NEW PROPANE TANK WITH PROTECTIVE BOLLARDS
- ⑪ NEW A.C. PAVEMENT
- ⑫ NEW LANDSCAPE AREA
- ⑬ NEW OFF-SITE CURB, GUTTER, SIDEWALK, AND DRIVEWAYS PER CALTRANS STANDARDS
- ⑭ INSTALL 3 FOOT HIGH SPLIT-FACE CMU WALL TO MITIGATE HEADLIGHT GLARE FROM CARS EXITING COFFEE KIOSK

**SITE UTILITIES**

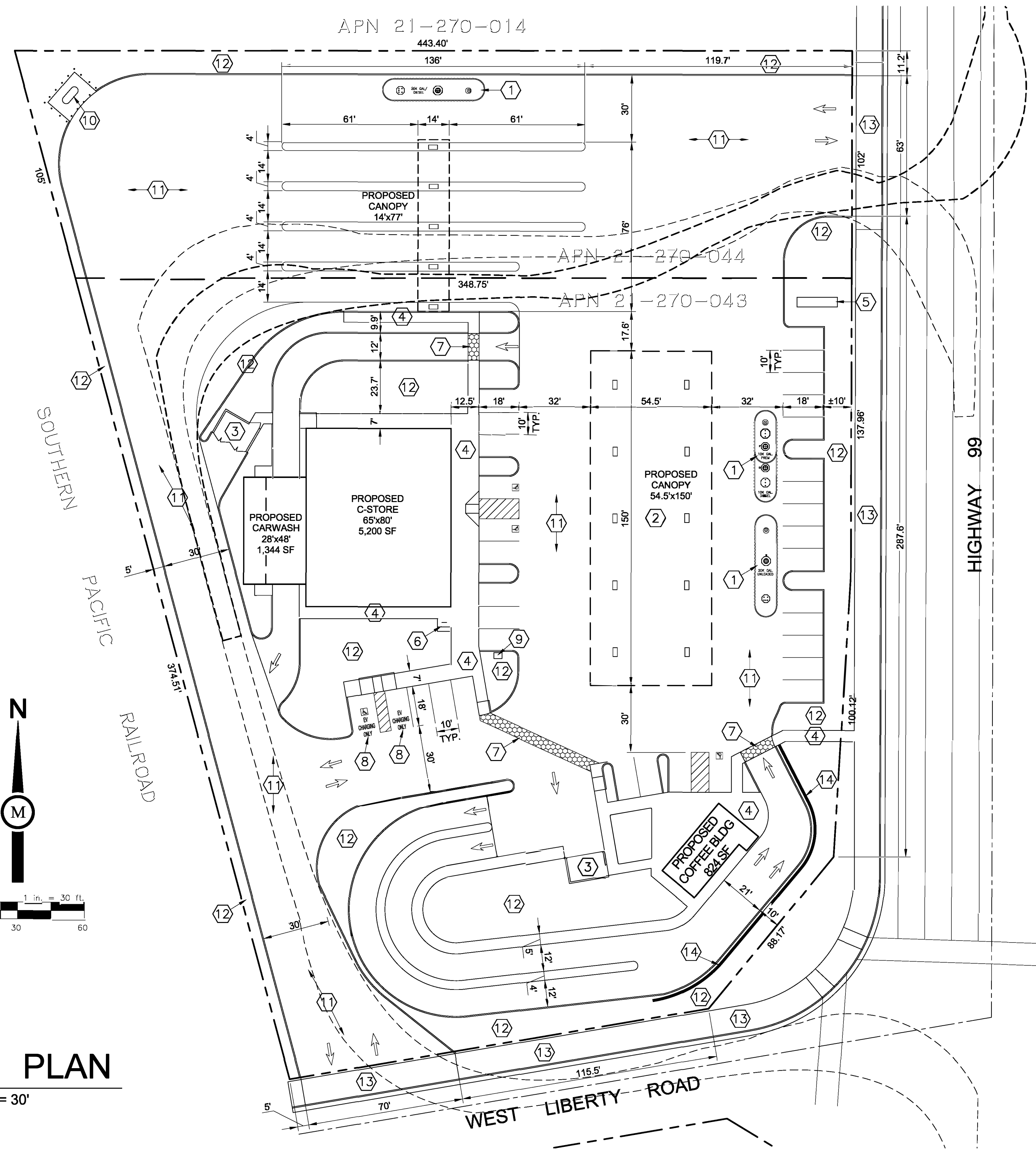
SEWAGE DISPOSAL: CITY OF GRIDLEY  
WATER SUPPLY: CITY OF GRIDLEY  
DRAINAGE: CITY OF GRIDLEY

**SITE COVERAGE**

C-STORE COVERAGE: 5,200 SF (5.1%)  
CARWASH COVERAGE: 1,344 SF (1.3%)  
COFFEE BUILDING COVERAGE: 824 SF (0.8%)  
LANDSCAPE AREA: 26,252 SF (26.0%)  
PAVED SURFACE AREA: 67,559 SF (66.8%)  
TOTAL: 101,179 SF (100%)

**PARKING DATA:**

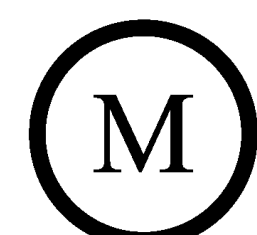
C-STORE (5,200 SF / 250 SF): 21 SPACES  
CARWASH (1,344 SF): 2 SPACES  
COFFEE DRIVE THRU (824 SF / 250 SF): 4 SPACES  
REQUIRED: 27 SPACES  
  
STANDARD SPACE (10'x20') (SHOWN WITH 2 FT OVERHANG INTO SIDEWALK/LANDSCAPE): 28 SPACES  
EV CHARGING SPACE (10'x20'): 2 SPACES  
ACCESSIBLE SPACE (10'x20') PROVIDED: 3 SPACES  
TOTAL PROVIDED: 33 SPACES



SCALE 1" = 30'  
0 15 30 60

**SITE PLAN**

SCALE: 1" = 30'

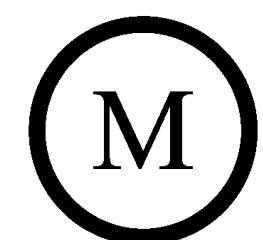
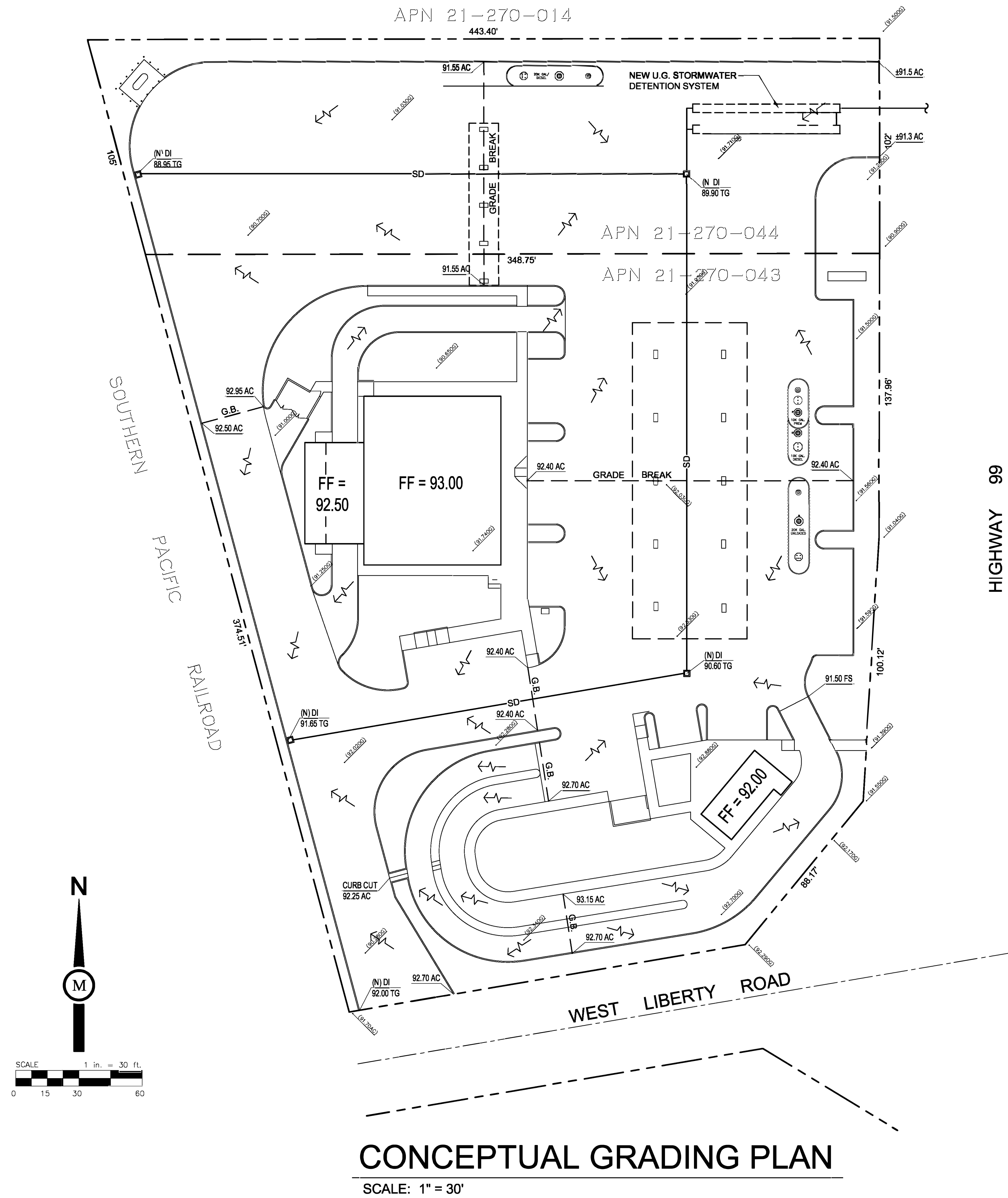


Milestone Associates Imagineering, Inc.  
1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
(530) 755-4700

HIGHWAY 99 RETAIL CENTER  
1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043

SITE PLAN /  
PROJECT DATA

1



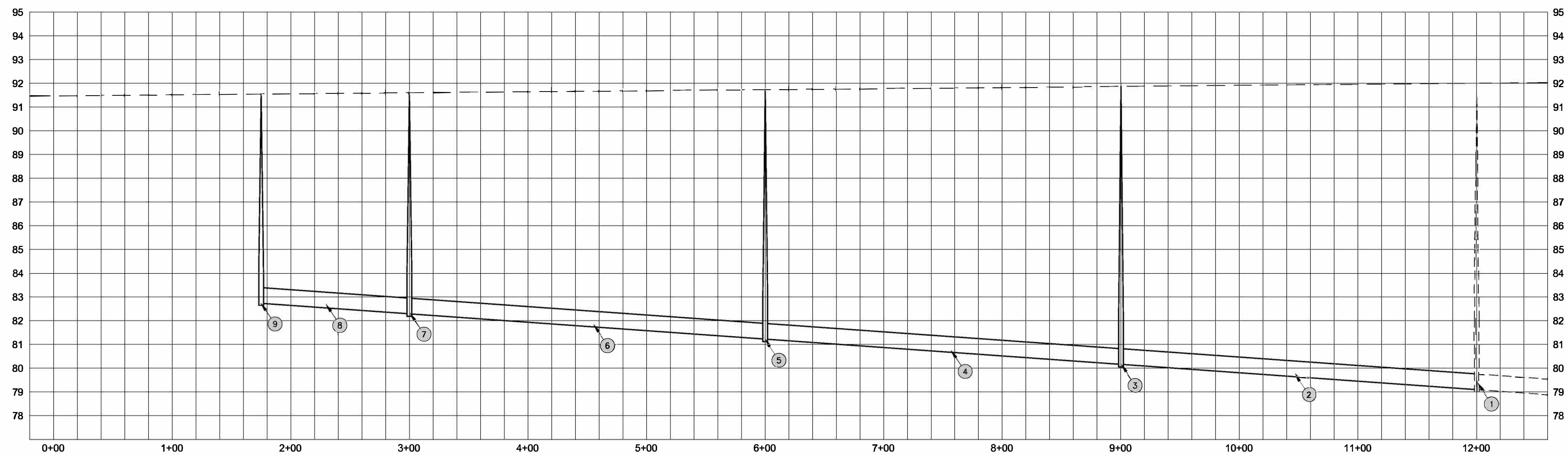
**Milestone Associates Imengineering, Inc.**  
 1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
 (530) 755-4700

HIGHWAY 99 RETAIL CENTER  
 1225 HIGHWAY 99, GRIDLEY, CA 95948  
 A.P.N. 21-270-043

CONCEPTUAL  
 GRADING PLAN

2



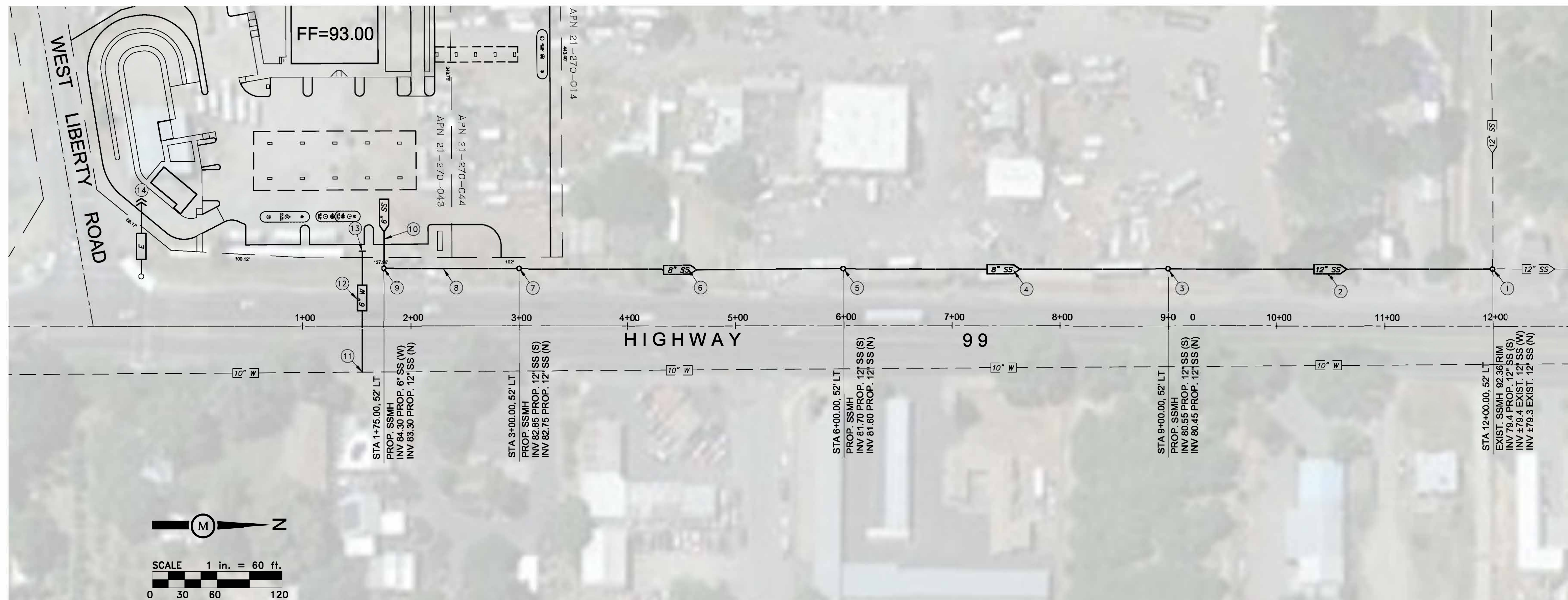


**PROFILE**

HORIZ. SCALE: 1" = 60'  
VERT. SCALE: 1" = 3'

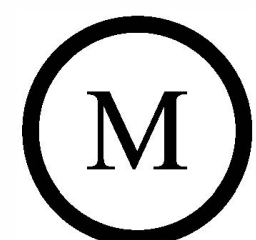
**CONSTRUCTION NOTES:**

- 1 EXISTING SANITARY SEWER MANHOLE TO REMAIN  
RIM EL. 92.36  
INV 79.40 PROP. 12" (S)  
INV ±79.4 EXIST. 12" (W)  
INV ±79.3 EXIST. 12" (N)
- 2 INSTALL ±300 LF OF 12" SS PVC SDR 26 AT S=0.0035
- 3 INSTALL NEW SSMH PER CITY STDS.  
INV 80.55 PROP. 12" (S)  
INV 80.45 PROP. 12" (N)
- 4 INSTALL ±300 LF OF 12" SS PVC SDR 26 AT S=0.0035
- 5 INSTALL NEW SSMH PER CITY STDS.  
INV 81.70 PROP. 12" (S)  
INV 81.60 PROP. 12" (N)
- 6 INSTALL ±300 LF OF 12" SS PVC SDR 26 AT S=0.0035
- 7 INSTALL NEW SSMH PER CITY STDS.  
INV 82.85 PROP. 12" (S)  
INV 82.75 PROP. 12" (N)
- 8 INSTALL ±125 LF OF 12" SS PVC SDR 26 @ S=0.0035
- 9 INSTALL NEW SSMH PER CITY STDS.  
INV 85.30 PROP. 6" (W)  
INV 83.30 PROP. 12" (N)
- 10 INSTALL ±10 LF OF 6" SS PVC SDR 26 @ S=0.02  
INV 84.50 PROP. 6" SS STUB
- 11 CONNECT NEW 6" WATER LINE TO EXIST. 10" WATER MAIN PER CITY STDS.
- 12 JACK & BORE TO CROSS EXISTING ROAD. CROSSING SHALL HAVE A MINIMUM OF 42" COVER PER CALTRANS STDS.
- 13 INSTALL 6" WATER LATERAL TO SITE.
- 14 CONNECT PROPOSED ELECTRICAL SERVICE TO EXISTING PG&E ELECTRICAL SERVICE



**PLAN**

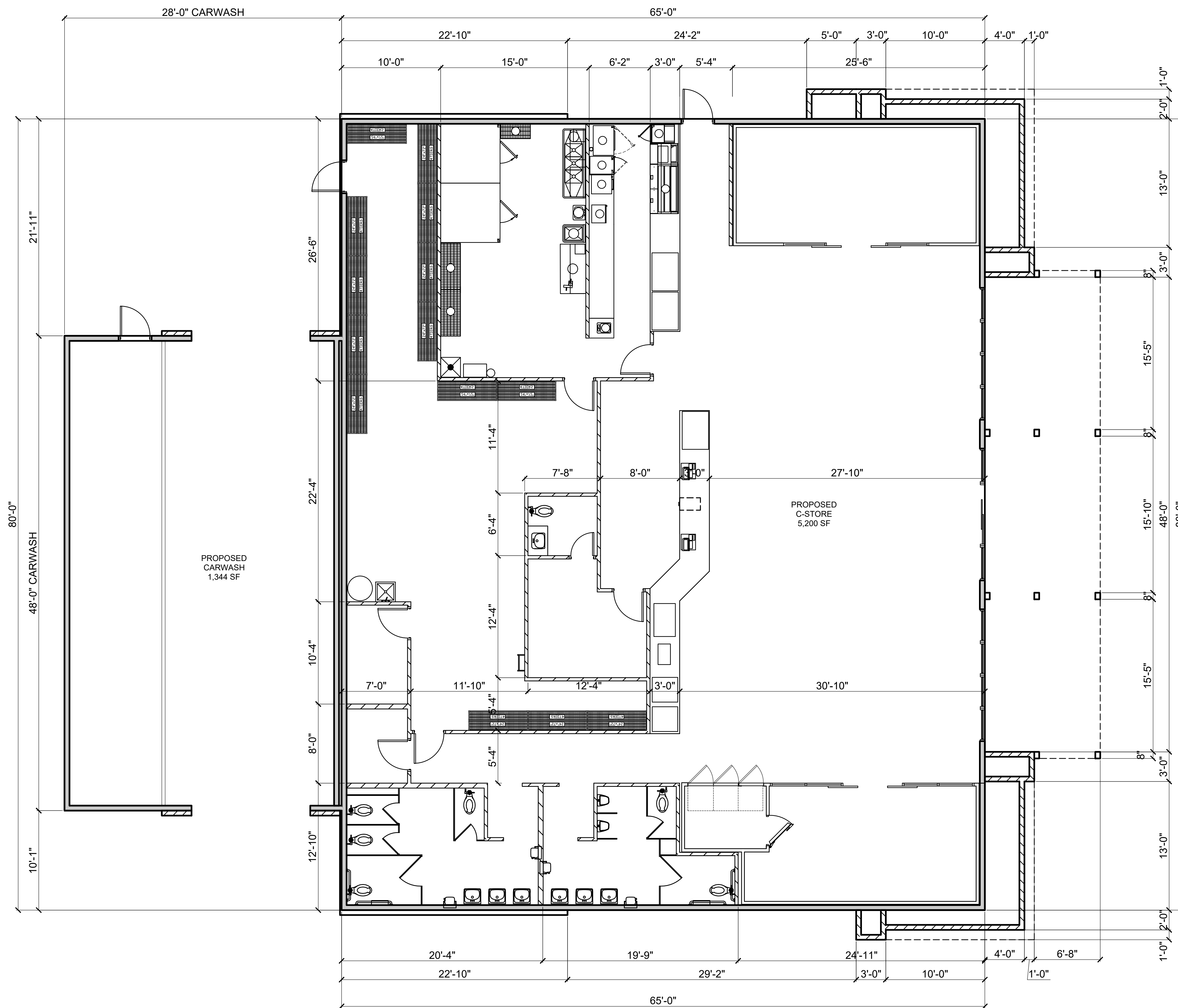
SCALE: 1" = 60'



**Milestone Associates Imengineering, Inc.**  
1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
(530) 755-4700

**HIGHWAY 99 RETAIL CENTER**  
1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043

CONCEPTUAL UTILITY  
PLAN & PROFILE



FLOOR PLAN  
 3/16" = 1'-0"

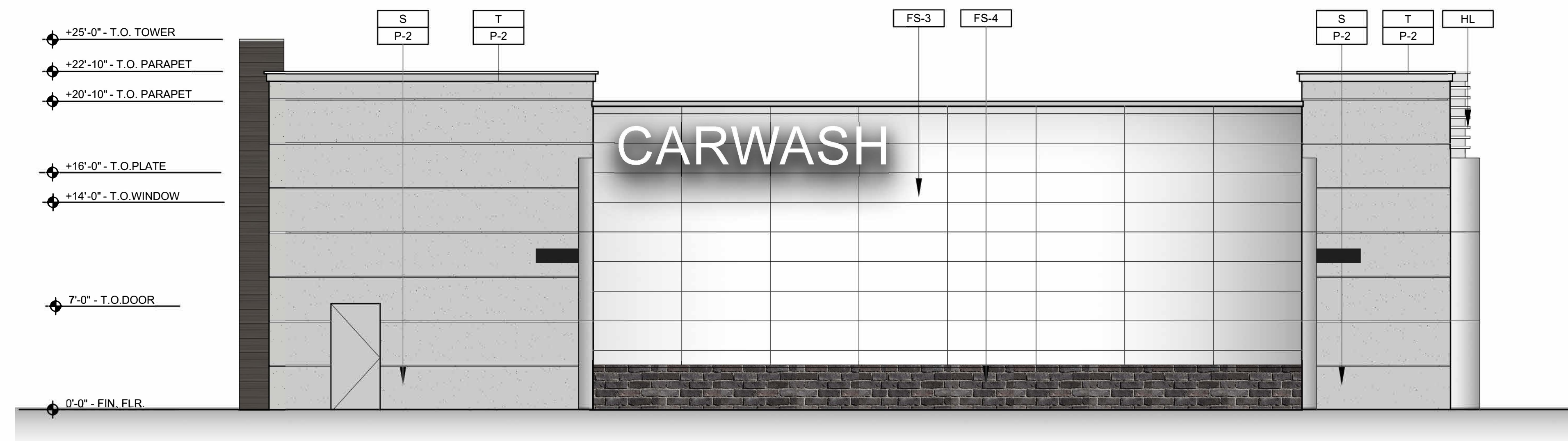






**FRONT ELEVATION (EAST)**

3/16" = 1'-0"



**REAR ELEVATION (WEST)**

3/16" = 1'-0"

**GENERAL NOTES:**

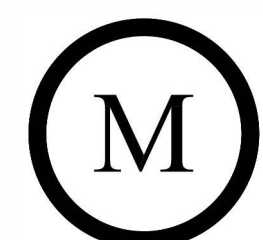
- A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

**MATERIAL LEGEND:**

<span style="border: 1px solid black; padding: 2px;">MTL'C</span>	METAL CANOPY
<span style="border: 1px solid black; padding: 2px;">S</span>	STUCCO; 7/8" CEMENT PLASTER TEXTURE: FINE SAND FINISH
<span style="border: 1px solid black; padding: 2px;">T</span>	TRIM AND CORNICE
<span style="border: 1px solid black; padding: 2px;">SF</span>	STOREFRONT; ALUM.
<span style="border: 1px solid black; padding: 2px;">RD</span>	ROLL UP DOOR
<span style="border: 1px solid black; padding: 2px;">HL</span>	HORIZONTAL LOUVER SYSTEM
<span style="border: 1px solid black; padding: 2px;">HM</span>	HORIZONTAL METAL SLATS

**COLOR LEGEND:**

<span style="border: 1px solid black; padding: 2px;">P-1</span>	SHERWIN WILLIAMS SW7004 COLOR: SNOWBOUND
<span style="border: 1px solid black; padding: 2px;">P-2</span>	SHERWIN WILLIAMS SW7064 COLOR: PASSIVE
<span style="border: 1px solid black; padding: 2px;">FS-1</span>	NICHIHA VINTAGE WOOD COLOR: BARK
<span style="border: 1px solid black; padding: 2px;">FS-2</span>	NICHIHA RIBBED; COLOR: IVORY
<span style="border: 1px solid black; padding: 2px;">FS-3</span>	NICHIHA MIRAIA; COLOR: GLACIER
<span style="border: 1px solid black; padding: 2px;">FS-4</span>	EL DORADO TUNDRABRICK COLOR: IRONSIDE



**Milestone Associates Imengineering, Inc.**  
1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
(530) 755-4700

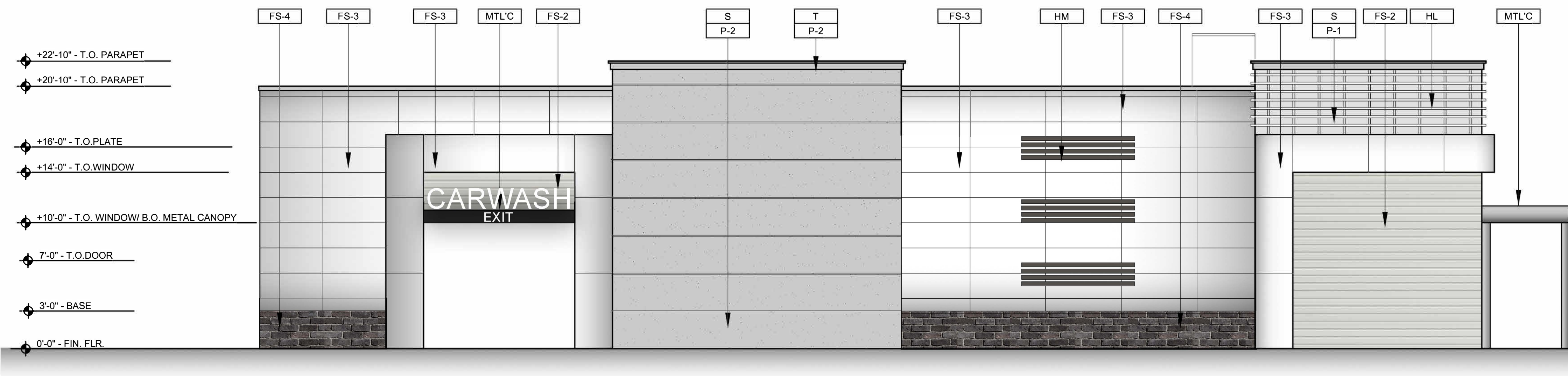
HIGHWAY 99 COMMERCIAL CENTER  
1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043

EXTERIOR ELEVATION

5

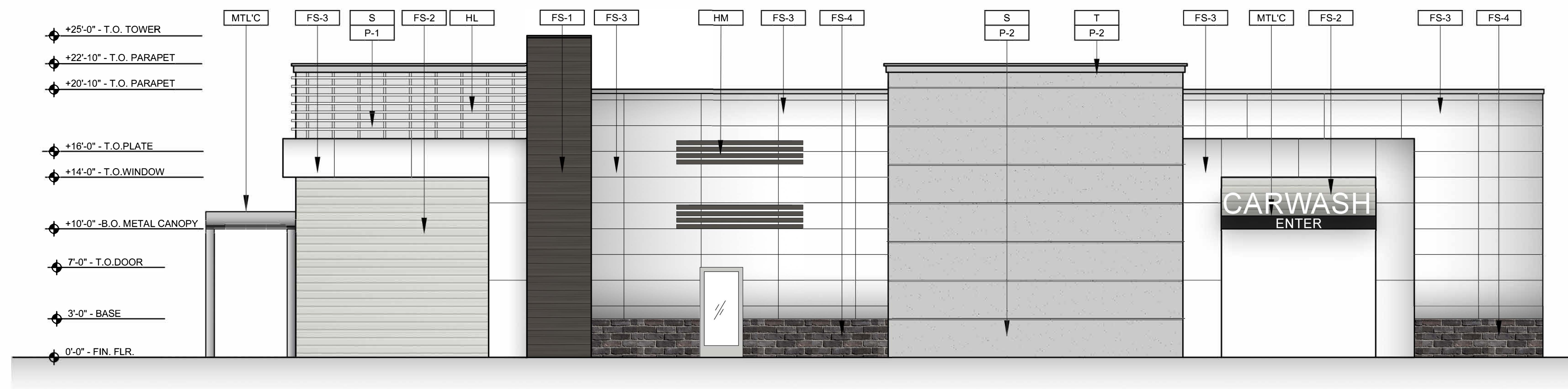
8-22-24





LEFT ELEVATION (SOUTH)

3/16" = 1'-0"



RIGHT ELEVATION (NORTH)

3/16" = 1'-0"

GENERAL NOTES:

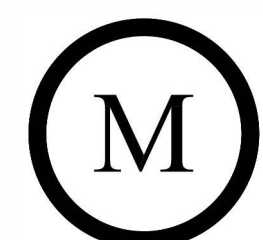
A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

MATERIAL LEGEND:

- MTL'C METAL CANOPY
- S STUCCO; 7/8" CEMENT PLASTER  
TEXTURE: FINE SAND FINISH
- T TRIM AND CORNICE
- SF STOREFRONT; ALUM.
- RD ROLL UP DOOR
- HL HORIZONTAL LOUVER SYSTEM
- HM HORIZONTAL METAL SLATS

COLOR LEGEND:

- P-1 SHERWIN WILLIAMS  
SW7004 COLOR: SNOWBOUND
- P-2 SHERWIN WILLIAMS  
SW7064 COLOR: PASSIVE
- FS-1 NICHIIA  
VINTAGE WOOD COLOR: BARK
- FS-2 NICHIIA  
RIBBED; COLOR: IVORY
- FS-3 NICHIIA  
MIRAIA; COLOR: GLACIER
- FS-4 EL DORADO  
TUNDRABRICK COLOR: IRONSIDE



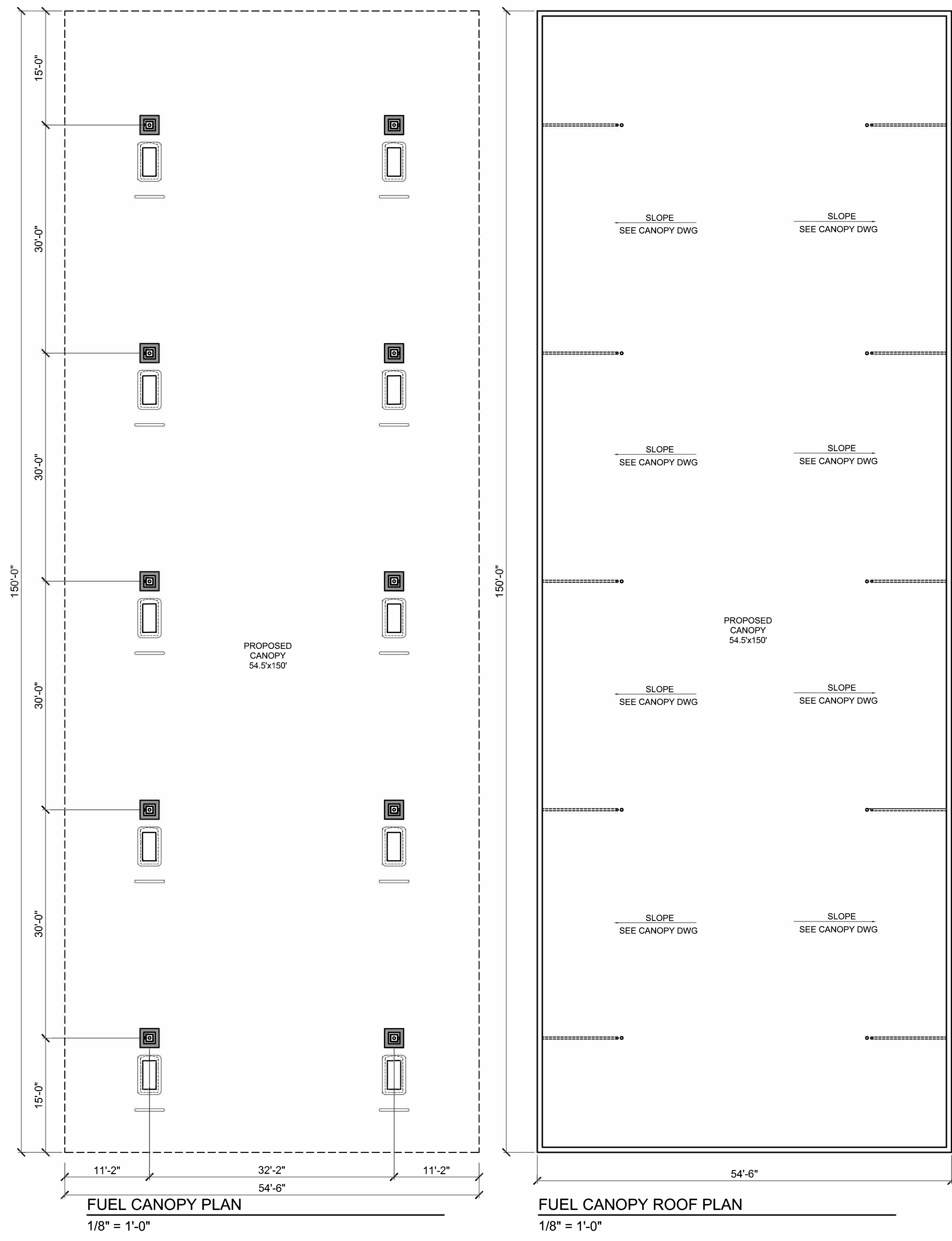
Milestone Associates Imagination, Inc.  
1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
(530) 755-4700

HIGHWAY 99 COMMERCIAL CENTER  
1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043

EXTERIOR ELEVATION

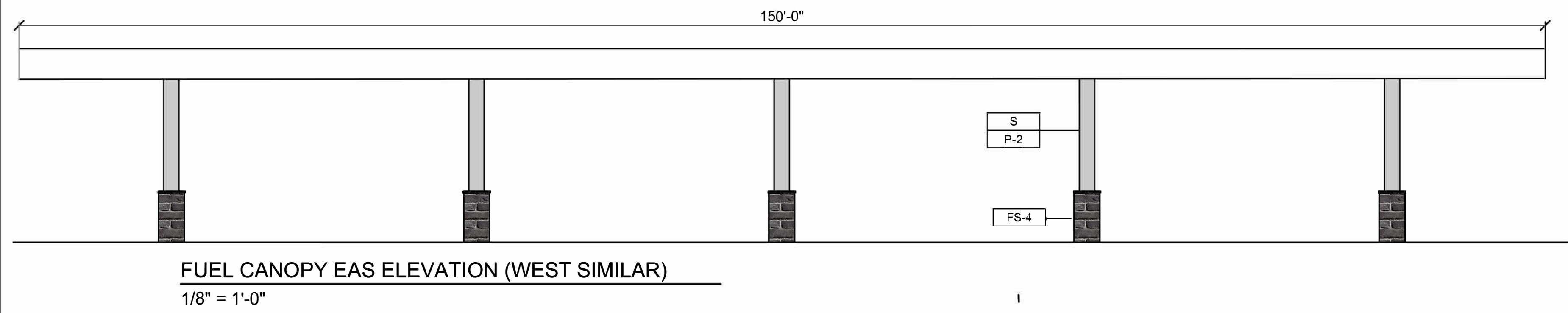
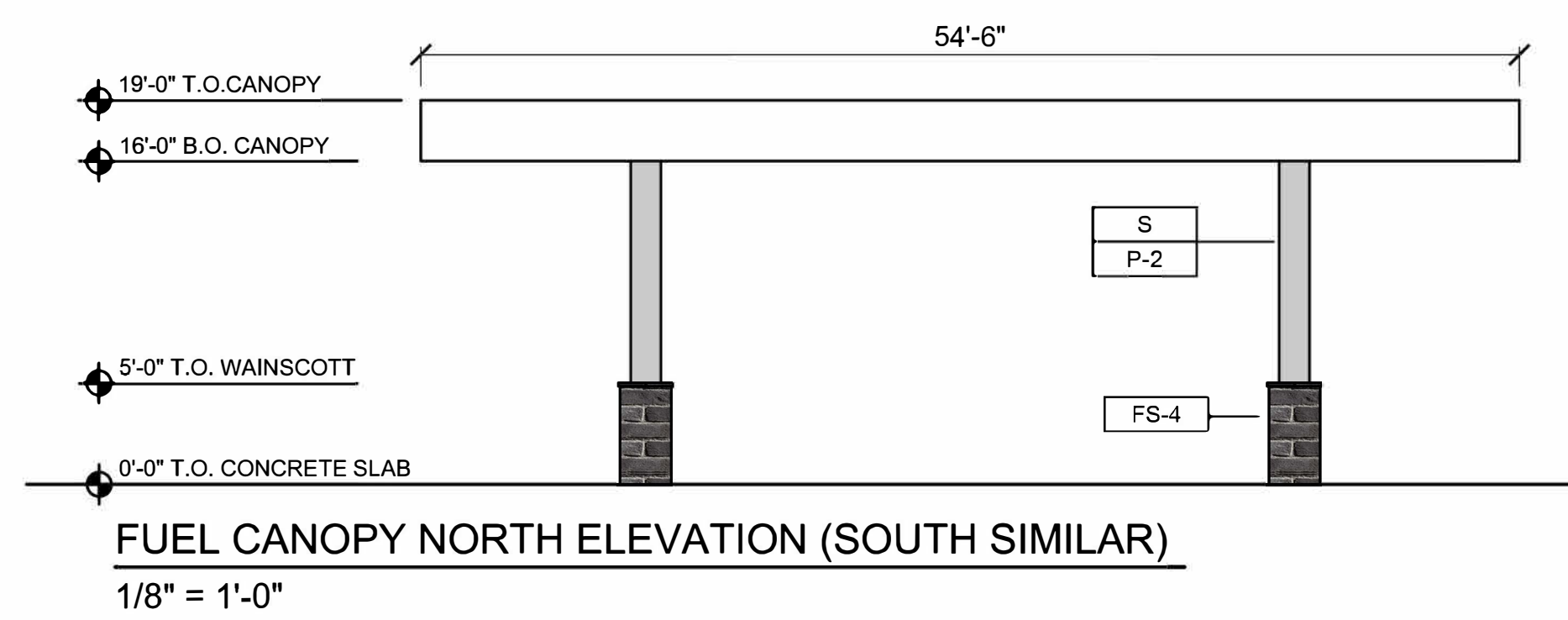
5.1

8-22-24



**COLOR LEGEND:**

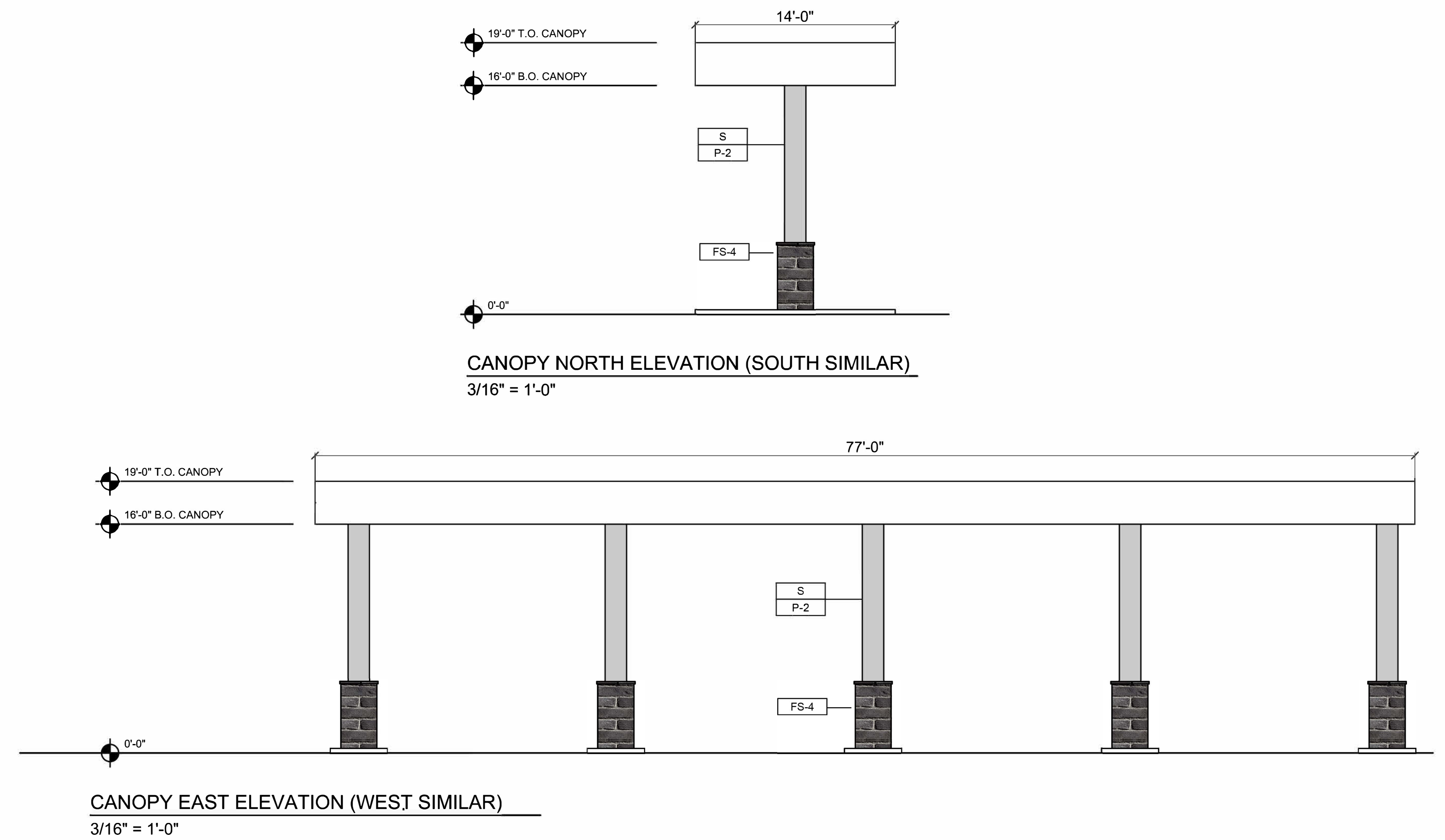
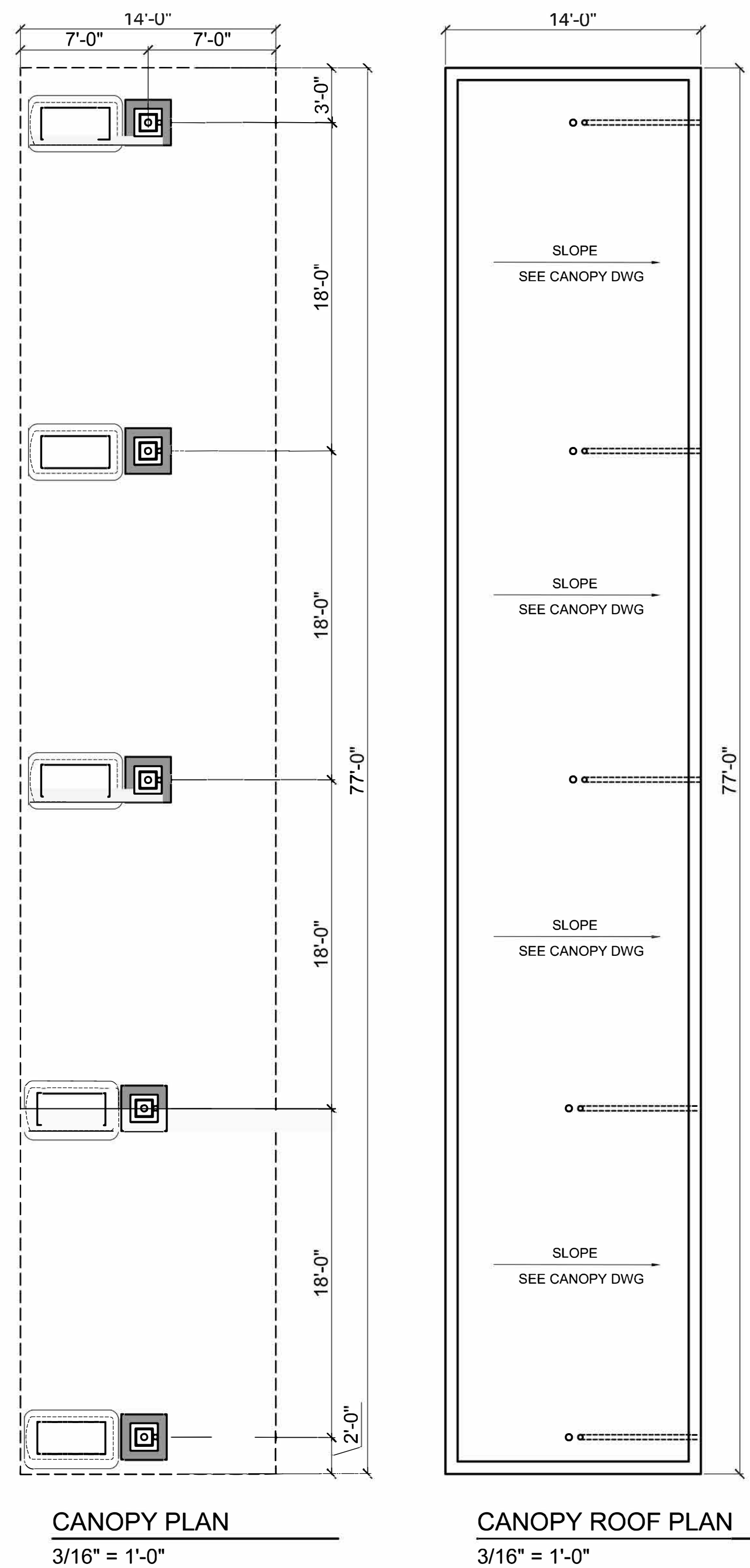
P-2	SHERWIN WILLIAMS SW7064 COLOR: PASSIVE
FS-4	EL DORADO TUNDRABRICK COLOR: IRONSIDE



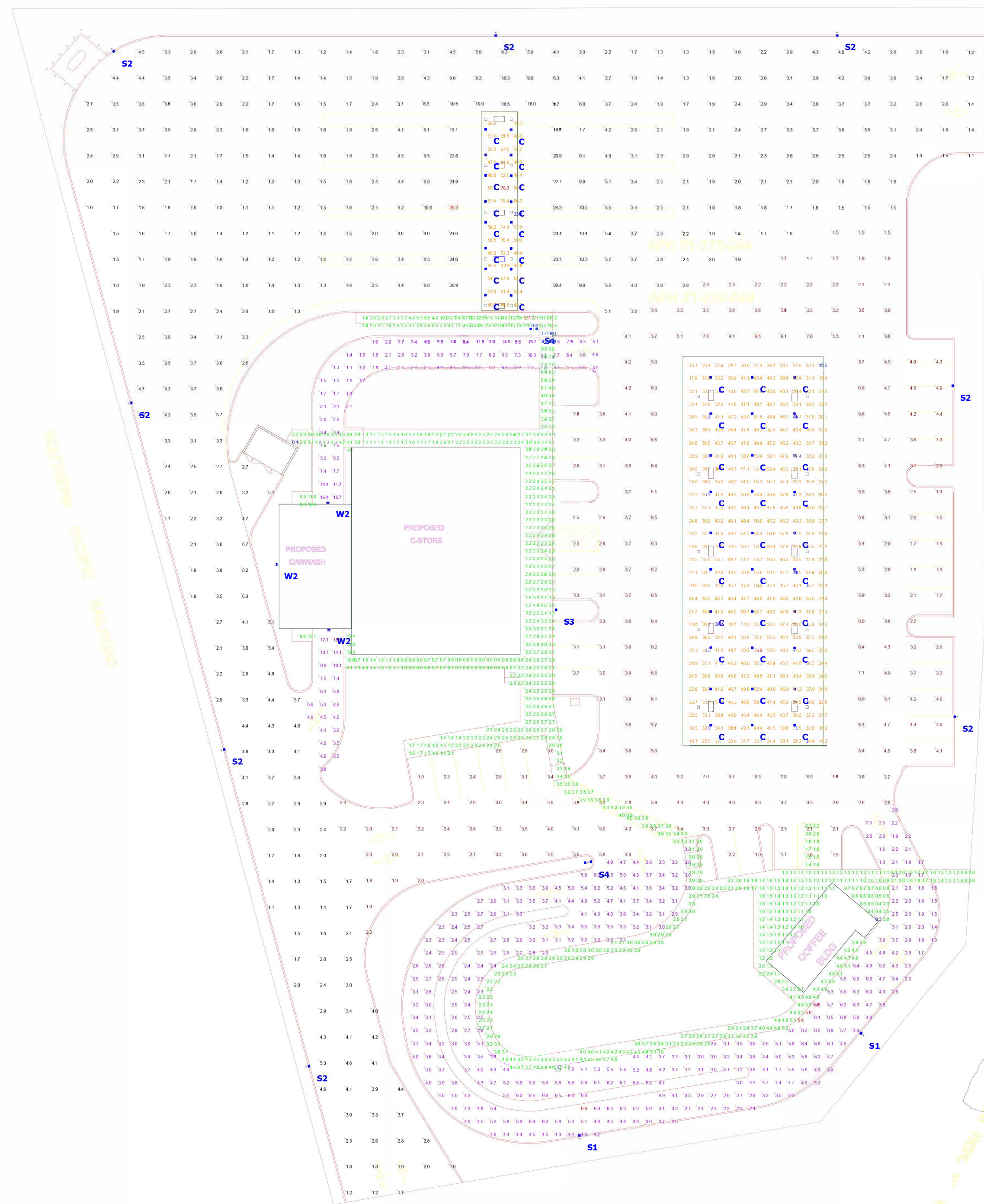


COLOR LEGEND:

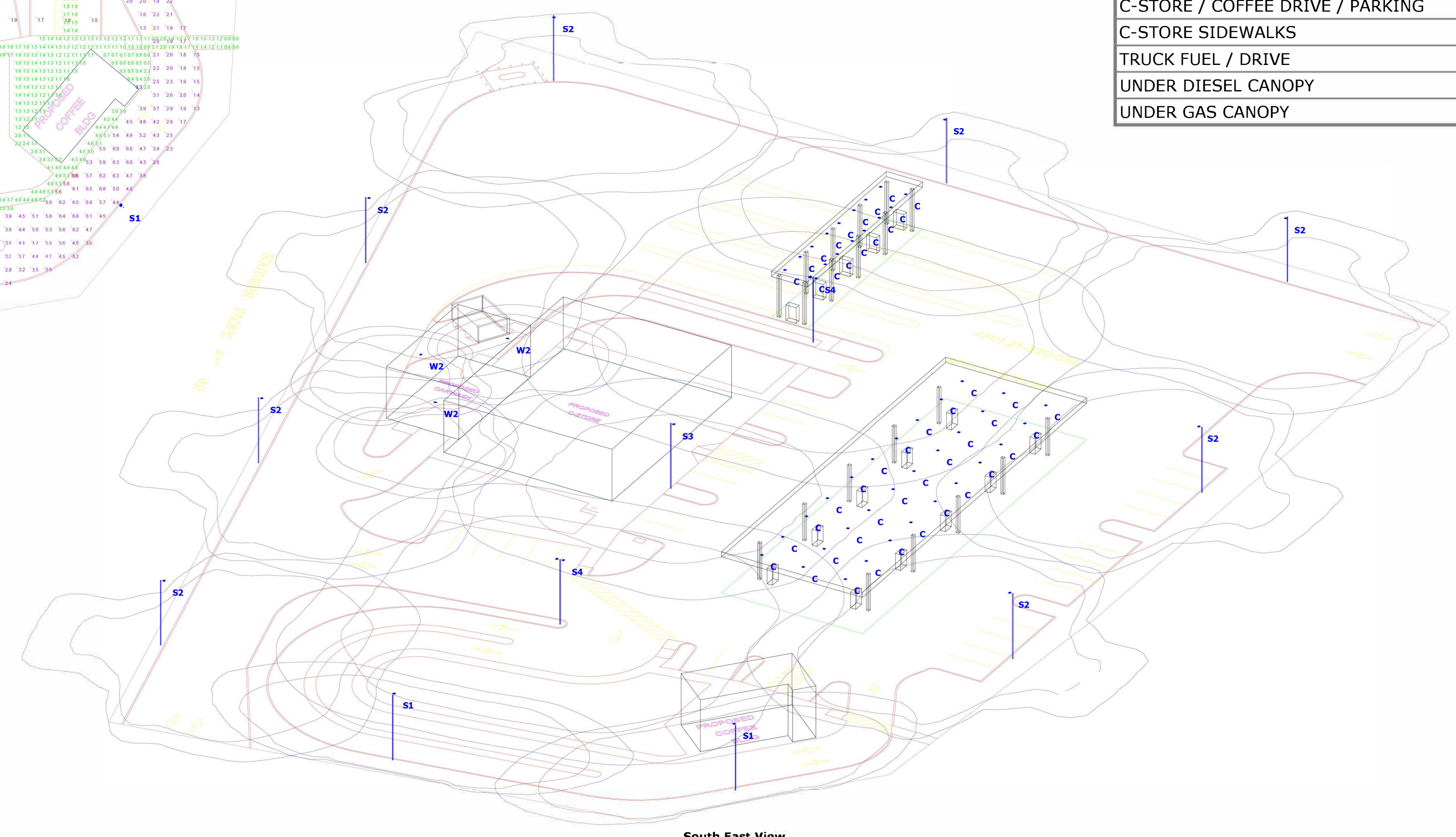
- P-2 SHERWIN WILLIAMS  
SW7064 COLOR: PASSIVE
- FS-4 EL DORADO  
TUNDRABRICK COLOR: IRONSIDE







Plan View  
Scale - 1/32" = 1ft



South East View

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	C		46	HiGas	100W	FL12-100 4000K Ra80 F00A02	1	14618	0.9	100.4
	S1		2	Lithonia Lighting	DSX1 LED P9 40K BLC MVOLT	DSX1 LED P9 40K BLC MVOLT	1	22611	0.9	241
	S2		8	Lithonia Lighting	DSX1 LED P9 40K TFTM MVOLT	DSX1 LED P9 40K TFTM MVOLT	1	27578	0.9	241
	S3		1	Lithonia Lighting	DSX1 LED P9 40K T5W MVOLT	DSX1 LED P9 40K T5W MVOLT	1	28445	0.9	241
	S4		2	Lithonia Lighting	DSX1 LED P9 40K T5W MVOLT	DSX1 LED P9 40K T5W MVOLT	1	28445	0.9	482
	W2		3	Lithonia Lighting	WDGE3 LED P4 70CRI RFT 40K	WDGE3 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, FORWARD THROW OPTIC	1	12277	0.9	87.8914

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CAR WASH DRIVE-THRU	+	5.8 fc	18.5 fc	1.3 fc	14.2:1	4.5:1
COFFEE DRIVE-THRU	+	3.8 fc	6.9 fc	1.3 fc	5.3:1	2.9:1
COFFEE SIDEWALK	+	2.5 fc	5.6 fc	0.3 fc	18.7:1	8.3:1
C-STORE / COFFEE DRIVE / PARKING	+	3.8 fc	9.5 fc	1.4 fc	6.8:1	2.7:1
C-STORE SIDEWALKS	+	4.0 fc	27.2 fc	0.4 fc	68.0:1	10.0:1
TRUCK FUEL / DRIVE	+	3.8 fc	26.3 fc	1.1 fc	23.9:1	3.5:1
UNDER DIESEL CANOPY	+	53.6 fc	78.3 fc	33.8 fc	2.3:1	1.6:1
UNDER GAS CANOPY	+	38.7 fc	53.9 fc	15.5 fc	3.5:1	2.5:1

Label	MH
C	14.00
C	16.00
S1	25.00
S2	25.00
S3	25.00
S4	25.00
W2	12.00

Disclaimer  
Photometric analyses performed by CIS Lighting are intended for informational and/or estimation purposes only. Using industry-recognized software, calculations correspond to the information provided to CIS Lighting, and are subject to the limitations of the software. Assumptions may be made for information that is not provided or available. It is the responsibility of the client to verify that the input data is consistent with actual field conditions.  
Due to the above considerations, CIS Lighting does not guarantee that actual light levels measured in the field will match initial calculations, and recommend that drawings be submitted to a certified electrical engineer for verification.





PRELIMINARY PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>ACCENT TREES</b>				
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	LOW
	LAGERSTROEMIA X 'MUSKOGEE'	LIGHT LAVENDER CRAPE MYRTLE	15 GAL	LOW
<b>PARKING LOT TREES</b>				
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	24" BOX	MODERATE
	PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	24" BOX	LOW
	ULMUS PARVIFOLIA	CHINESE ELM	24" BOX	MODERATE
<b>PERIMETER SCREEN TREES</b>				
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	24" BOX	MODERATE
	PINUS CANARIENSIS	CANARY ISLAND PINE	24" BOX	LOW
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	24" BOX	MODERATE
<b>STREET TREES</b>				
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	24" BOX	MODERATE
	PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	24" BOX	LOW
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	24" BOX	MODERATE
<b>ACCENT SHRUBS</b>				
	AGAPANTHUS AFRICANUS 'QUEEN ANNE'	QUEEN ANNE AGAPANTHUS	1 GAL	MODERATE
	HEMEROCALLIS X 'CRANBERRY BABY'	CRANBERRY BABY DAY LILY	1 GAL	MODERATE
	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL	LOW
<b>GRASSES AND GRASS-LIKE PLANTS</b>				
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	LOW
	DIETES BICOLOR	FORTNIGHT LILY	5 GAL	LOW
	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	1 GAL	LOW
<b>GROUNDCOVERS</b>				
	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	LOW
	COTONEASTER DAMMERI 'STRIABS FINDLING'	STRIABS FINDLING COTONEASTER	1 GAL	LOW
	MYOPORUM PARVIFOLIUM 'PINK'	PINK TRAILING MYOPORUM	1 GAL	LOW
<b>MEDIUM HEIGHT SHRUBS</b>				
	CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN BOTTLE BRUSH	1 GAL	LOW
	CISTUS MICROPHYLLA 'HOT LIPS'	HOT LIPS SALVIA	1 GAL	LOW
	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM NANDINA	1 GAL	LOW
<b>SCREEN SHRUBS / HEDGES</b>				
	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	5 GAL	LOW
	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLLIE OLIVE	5 GAL	LOW
	XYLOSMA CONGESTUM 'COMPACTA'	COMPACT XYLOSMA	5 GAL	LOW
<b>VINES</b>				
	FICUS PUMILA	WEeping FIG	1 GAL	MODERATE
	PARTHENOCCISSUS TRICUSPIDATA	BOSTON IVY	1 GAL	MODERATE

### PRELIMINARY HARD/SOFTSCAPE SHADING CALCULATIONS

SHADING AREA BY TREE TYPE:	FULL	3/4	1/2	1/4
ACCENT TREE:	20@177=3,540	0@133=0	0@89=0	4@44=176
PARKING LOT TREES:	4@962=3,848	8@707=5,776	0@481=0	10@240=2,400
PERIMETER SCREEN TREES:	0@962=0	19@707=13,433	0@481=0	0@240=0
STREET TREES:	0@962=0	3@707= 2,165	0@481=0	3@240=720
TOTAL AREA SHADED BY TREES:		32,058 SF		
TOTAL HARDSCAPE / SOFTSCAPE AREA REQUIRING SHADING:		101,784 SF		
PERCENT OF HARDSCAPE SHADED:		31.5%		

### PRELIMINARY PARKING LOT SHADING CALCULATIONS

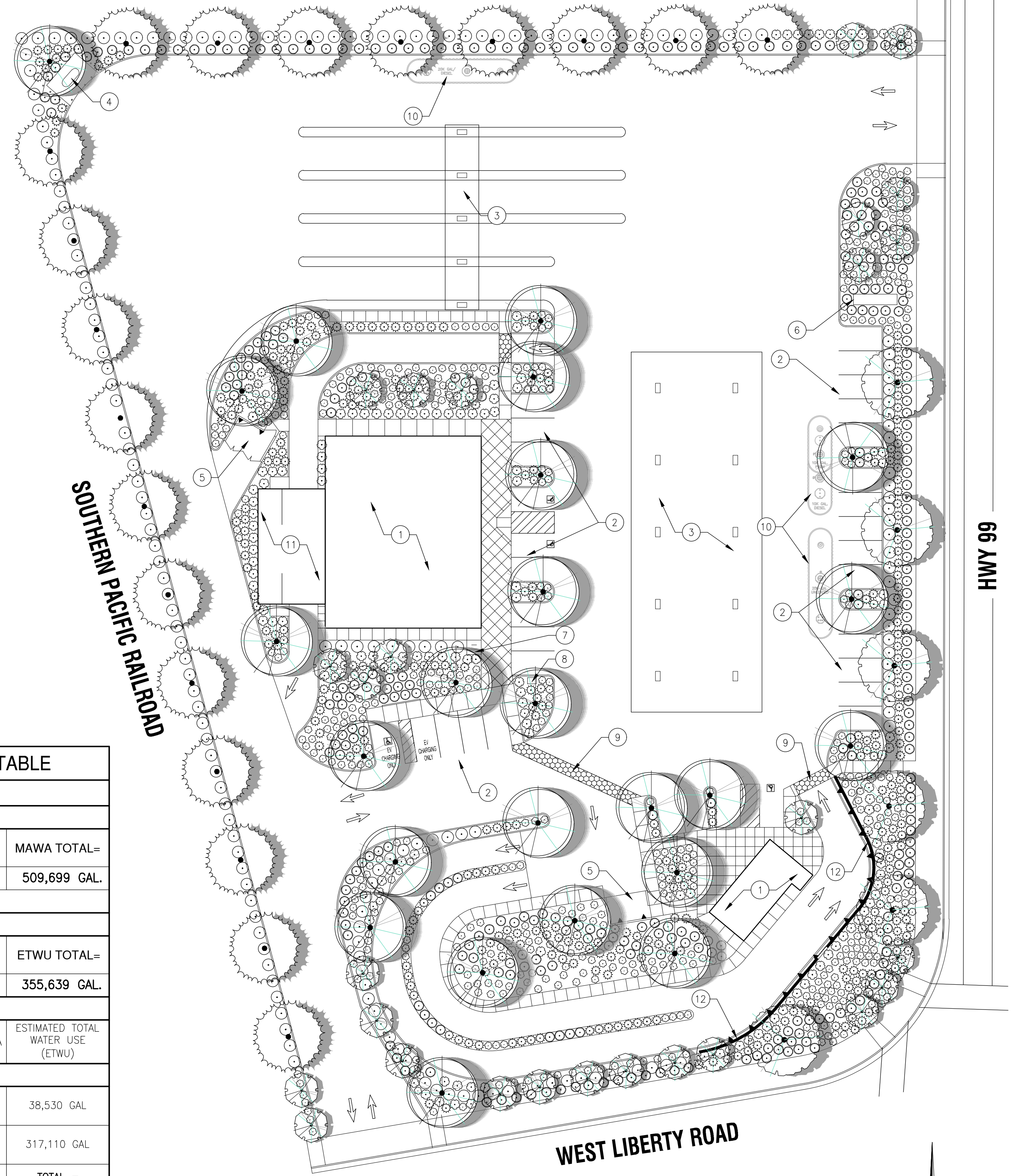
SHADING AREA BY TREE TYPE:	FULL	3/4	1/2	1/4
PARKING LOT TREES:	5@962=4,810	0@707=0	6@481=2,886	4@240=960
PERIMETER SCREEN TREES:	0@962=0	0@707=0	3@481=1,443	0@240=0
TOTAL AREA SHADED BY TREES:		9,139 SF		
TOTAL PARKING LOT AREA REQUIRING SHADING:		16,579 SF		
PERCENT OF SHADE PROVIDED:		55.1%		

### LANDSCAPE AREA

TOTAL PROJECT AREA – PARCEL SIZE:	139,220 SF (3.19 ACRES)
LANDSCAPE AREA:	37,436 SF 100%
SHRUB AREAS:	37,436 SF 100%
PERCENT OF SITE IN LANDSCAPE:	26.89%

PRELIMINARY IRRIGATED LANDSCAPE WATER EFFICIENCY TABLE							
WATER BUDGET CALCULATIONS							
MAXIMUM APPLIED WATER ALLOWANCE							
MAWA=(Eto)(0.62)((0.45xLA)+((1.0-0.45)xSLA))	LOCAL Eto=	LA =	SLA =			MAWA TOTAL=	
	48.8	37,436	0			509,699 GAL.	
ESTIMATED TOTAL WATER USE							
ETWU=(Eto)(0.62)((PFxHA)/IE)+SLA)	LOCAL Eto=	PF =	LA =	SLA =		ETWU TOTAL=	
	48.8	SEE BELOW	37,436	0		355,639 GAL.	
HYDROZONE INFORMATION TABLE							
HYDROZONE TAG	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SF)	ETAF X AREA	ESTIMATED TOTAL WATER USE (ETWU)
(TREE/RWS/MODERATE)	0.50	RWS	0.81	0.62	2,063 SF	1,273	38,530 GAL
(SHRUB/DRIP/LOW)	0.24	IN-LINE DRIP	0.81	0.30	35,373 SF	10,481	317,110 GAL
					<b>TOTAL AREA= 37,436 SF</b>	<b>TOTAL= 11,754</b>	<b>TOTAL = 355,639 GAL.</b>
SPECIAL LANDSCAPE AREAS							
				1	0 SF	0	0 GAL
					<b>TOTAL AREA= 0 SF</b>	<b>TOTAL= 0</b>	<b>TOTAL = 0 GAL.</b>
* THIS INFORMATION DERIVED FROM PLANT FACTOR DESIGNATIONS IN THE WUCOLS IV DOCUMENT.							

NOTE: THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY. THIS DOCUMENT IS MARKED PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION PURPOSES. ANY IMAGES SHOWN ARE TO CONVEY CONCEPT ONLY. CONSTRUCTION PLANS WILL VARY DEPENDING ON BUDGET, CLIENT DIRECTION, COMMUNITY INPUT AND FINAL MATERIALS SELECTION.



### LEGEND

- 1 PROPOSED BUILDING – PER ARCHITECT'S PLANS
- 2 PARKING LOT – PER CIVIL ENGINEERING PLANS
- 3 FUEL STATION CANOPY – PER ARCHITECT'S PLANS
- 4 PROPANE TANK WITH BOLLARDS – PER ARCHITECT'S PLANS
- 5 TRASH ENCLOSURE – PER ARCHITECT'S PLANS
- 6 PYLON SIGN – PER ARCHITECT'S PLANS
- 7 BIKE RACK/LOCKER – PER ARCHITECT'S PLANS
- 8 AIR/WATER STATION – PER ARCHITECT'S PLANS
- 9 ACCESSIBLE PATH OF TRAVEL TO STREET
- 10 UNDERGROUND FUEL STORAGE TANKS – PER ARCHITECT'S PLANS
- 11 CAR WASH – PER ARCHITECTS PLANS
- 12 3' TALL MASONRY SCREEN WALL ALONG DRIVE-THRU – PER ARCHITECT'S PLANS

### PROJECT IRRIGATION NOTE

THE PROPOSED PLANTING DESIGN FOR THIS PROJECT IS COMPRISED OF PREDOMINATELY LOW-WATER USE TREES, SHRUBS, AND GROUNDCOVERS WITH TURF/LAWN AREAS STRATEGICALLY PLACED FOR ACTIVE AND PASSIVE RECREATION FOR CUSTOMERS. THE TREES WILL BE IRRIGATED WITH A ROOT WATERING SYSTEM AND A SURFACE SUPPLEMENTAL BUBBLER. THE SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH LOW VOLUME POINT SOURCE DRIP/BUBBLERS TO PROVIDE ADEQUATE WATER TO THE PLANT ROOT ZONE. THE TURF/LAWN AREAS WILL BE IRRIGATED WITH EITHER HIGH-EFFICIENCY OVERHEAD ROTARY IRRIGATION OR SUBSURFACE IN-LINE DRIP IRRIGATION TO MEET ALL STATE AND LOCAL CODES. THE SITE IRRIGATION WILL BE CONTROLLED BY A 'SMART' CONTROLLER WITH WEATHER SENSING CAPABILITIES (HUNTER, RAINBIRD, OR EQUAL). THE POINT OF CONNECTION WILL UTILIZE A BACKFLOW PREVENTER, MASTER VALVE, AND FLOW SENSOR TO COMPLY WITH ALL APPLICABLE LOCAL AND STATE WATER EFFICIENT LANDSCAPE ORDINANCE CODES.

# LANDSCAPE CONCEPT PLAN

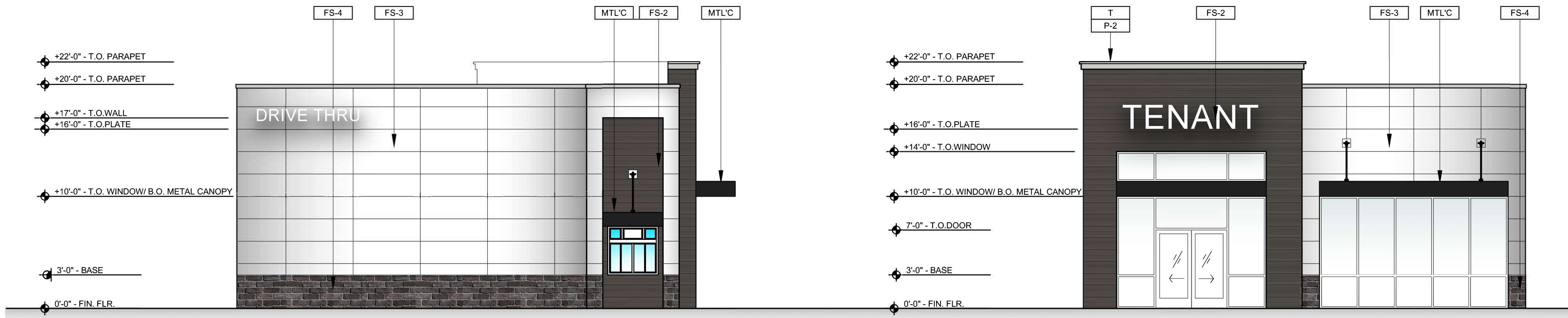


1165 Scenic Drive, Suite A  
Modesto, CA 95350  
odellengineering.com

HIGHWAY 99 RETAIL CENTER  
1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043

# LANDSCAPE CONCEPT PLAN 8



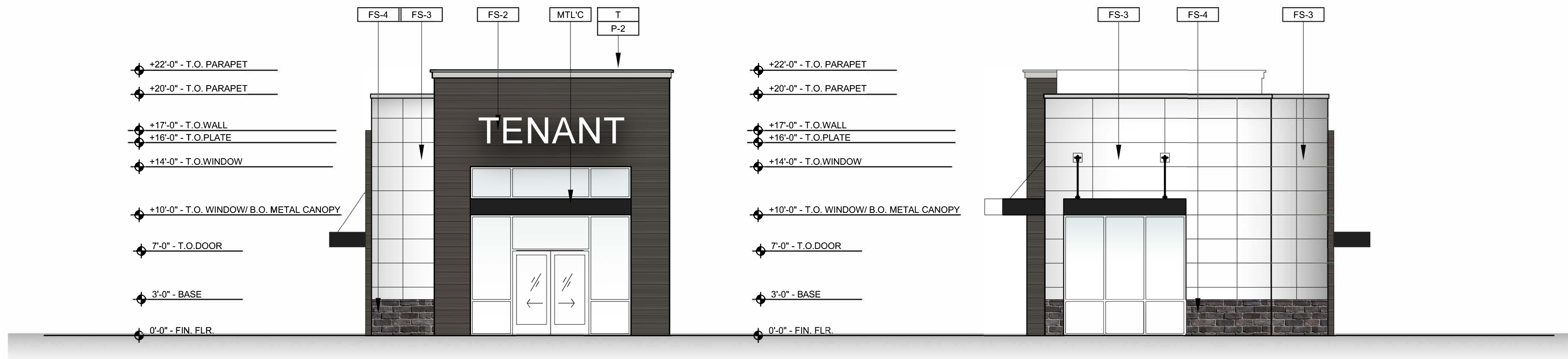


REAR ELEVATION (SOUTH)

3/16" = 1'-0"

FRONT ELEVATION (NORTH)

3/16" = 1'-0"



LEFT ELEVATION (EAST)

3/16" = 1'-0"

LEFT ELEVATION (WEST)

3/16" = 1'-0"

GENERAL NOTES:

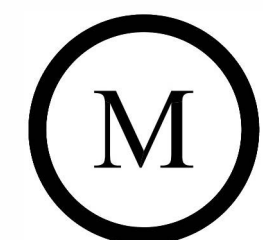
- A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

MATERIAL LEGEND:

- MTL'C METAL CANOPY
- S STUCCO; 7/8" CEMENT PLASTER  
TEXTURE: FINE SAND FINISH
- T TRIM AND CORNICE
- SF STOREFRONT; ALUM.
- RD ROLL UP DOOR
- HL HORIZONTAL LOUVER SYSTEM
- HM HORIZONTAL METAL SLATS

COLOR LEGEND:

- P-1 SHERWIN WILLIAMS  
SW7004 COLOR: SNOWBOUND
- P-2 SHERWIN WILLIAMS  
SW7064 COLOR: PASSIVE
- FS-1 NICHHA  
VINTAGE WOOD COLOR: BARK
- FS-2 NICHHA  
RIBBED; COLOR: IVORY
- FS-3 NICHHA  
MIRAIA; COLOR: GLACIER
- FS-4 EL DORADO  
TUNDRABRICK COLOR: IRONSIDE



Milestone Associates Imagination, Inc.

1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
(530) 755-4700

HIGHWAY 99 COMMERCIAL CENTER  
1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043

COFFEE BUILDING  
EXTERIOR ELEVATION

9

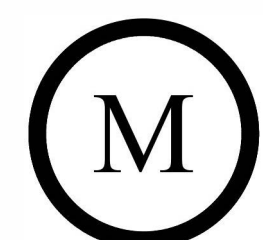




FRONT VIEW OF C-STORE (WEST)



FRONT VIEW OF C-STORE (WEST) NIGHT VIEW

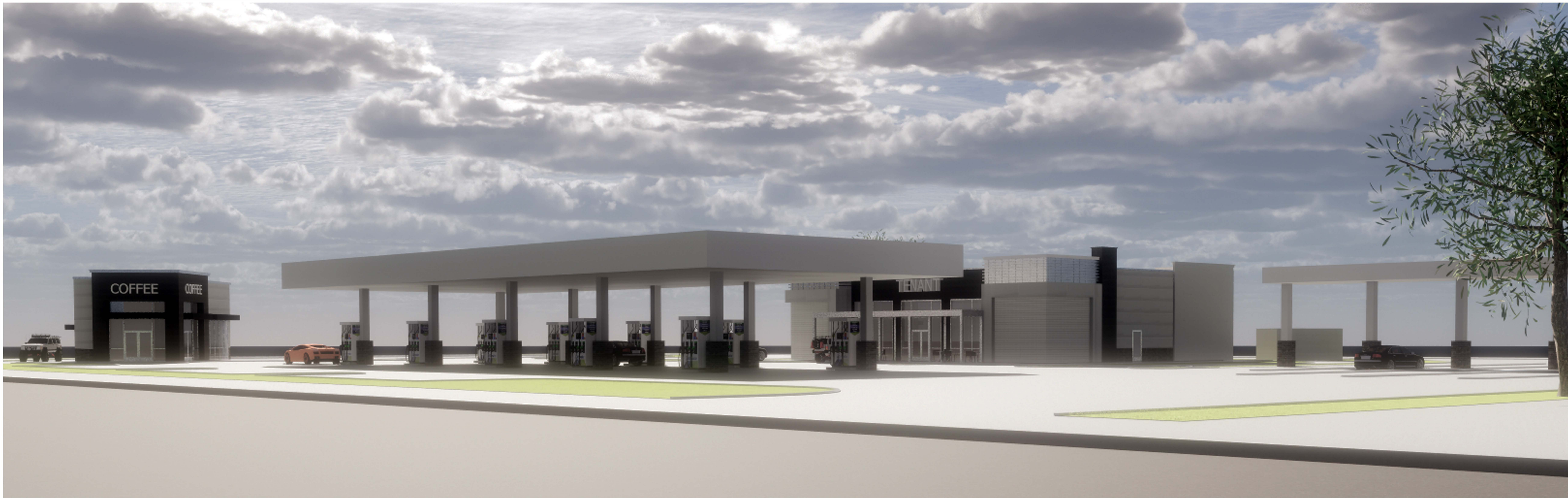


**Milestone Associates Imagineering, Inc.**  
1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
(530) 755-4700

HIGHWAY 99 COMMERCIAL CENTER  
1225 HIGHWAY 99, GRIDLEY, CA 95948  
A.P.N. 21-270-043

RENDERING





VIEW LOOKING SOUTH EAST ONTO SITE



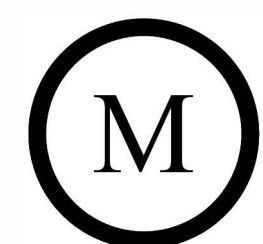
VIEW LOOKING WEST FROM UNDERSIDE OF FUEL CANOPY



VIEW LOOKING NORTH TOWARDS SITE



VIEW LOOKING NORTH EAST TOWARDS SITE



**Milestone Associates Imagineering, Inc.**  
 1000 Lincoln Road, Suite H202, Yuba City, CA 95991  
 (530) 755-4700

**HIGHWAY 99 COMMERCIAL CENTER**  
 1225 HIGHWAY 99, GRIDLEY, CA 95948  
 A.P.N. 21-270-043

**RENDERING**